

**Invitation for Bids (“IFB”) For
Flooring Products and Installation
(South Jordan Campus)**

This RFP is Being Issued by:

**Hawthorn Academy
1437 W 11400 S
South Jordan, UT 84095**

Date of IFB Issue: April 8, 2026

Deadline to Submit Proposals: April 20, 2026 at 5:00 p.m.

I – KEY DATES

- A. **Date of IFB Issue:** April 8, 2026.
- B. **Deadline to Submit Bids:** April 20, 2026 by 5:00 p.m.
- C. **Opening of Bids:** April 20, 2026 at 5:00 p.m. at the offices of Academica West located at 290 N. Flint St., Kaysville, UT 84037. **Bidders are NOT expected or required to attend the opening.**
- D. **Anticipated Contract Award Date:** April/May 2026.
- E. **Project Schedule:** The following commencement and completion date ranges apply unless another date range is agreed upon by the School:
1. Work may commence after May 29, 2026.
 2. All work must be completed by June 30, 2026.

II – GENERAL INFORMATION

- A. **Background.** Hawthorn Academy (“SHA” or the “School”) is a Utah nonprofit 501(c)(3) corporation and public charter school with campuses located in West Jordan and South Jordan, Utah. HA enrolls over 1,400 students in grades K-9.

The services that are the subject of this RFP is for the South Jordan campus located at 1437 W. 11400 S., South Jordan, Utah 84095.

- B. **Campus Building.** HA’s South Jordan building is a one-story building with approximately 61,571 square feet. **Attached to this RFP as Exhibit A are the floor plans of the building showing dimensions and the various types of flooring throughout the building.**
- C. **Purpose of IFB.** The purpose of this IFB is to solicit bids to:
- Replace all carpet throughout building
 - Replace rubber wall base in gym (not replacing gym flooring)
 - All hallways and main office to be LVP excluding director and other small office.

Bids should include all the work necessary to accomplish this, including but not limited to:

- Moving and replacing furniture and equipment in the School necessary to complete this project;
- Include removing and dispose of existing flooring and cove/rubber wall base in designated areas;
- Install new flooring and rubber wall base according to specifications;
- Specifications for new flooring:
 - Carpet – Breathe carpet tiles 24”x24”, Alignment carpet tiles 24”x24” or equivalent
 - LVP – Terrain Li 20 Mil. or equivalent
 - Wall Base –
 - Gym – 4.5” w/toe
 - Areas other than gym – 4” w/ toe
- Any additional work necessary to complete this project;
- Cleaning up work site and removing all trash/debris.

- D. **Reduction in Scope of Project.** HA reserves the right to reduce the scope of this project if the School, in its discretion, determines that it would be financially prudent for them to do so.

- E. **Award of Contract.** The contract will be awarded to the responsible bidder who meets all objective criteria set forth in this IFB and submits the lowest bid. To the extent permitted by law, HA may reject any and all bids and may waive any informality or technicality in any bid received if HA's Board determines it would serve the best interests of the School.
- F. **Contract Documents.** The successful bidder selected by HA's Board pursuant to this IFB will be required to enter into a written guaranteed maximum price contract consistent with the acceptable services, terms, and conditions outlined in the successful bid and the requirements set forth in this IFB.

III – GENERAL BID INFORMATION

- A. **Bids must be submitted by email in compliance with Section V of this IFB. Bids received by regular mail, hand delivery, telephone, fax, or any other unapproved form are not acceptable and may not be considered.**
- B. **The content of a bid must address the requirements stated in Section V of this IFB.**
- C. **Bids will be opened publicly as stated above.** Bids will be opened so as to avoid disclosure of contents to competing bidders during the process of negotiation. Only the names of bidders who submitted bids will be identified at the opening of bids. **Bidders are not required or expected to attend.**
- D. The School may, for the purpose of assuring full understanding of and responsiveness to the IFB's requirements, enter into discussions or conduct interviews with, or attend presentations by, bidders who submit bids.
- E. Bidders acknowledge that the School's issuance of this IFB does not obligate the School to accept any of the bids submitted in response to this IFB, nor does it guarantee that the School will in fact accept any of the said bids. To the extent permitted by law, the School and its Board reserves the right to accept or reject any or all bids and/or to waive any or all formalities in any bid or in the bid process deemed to be in the best interest of the School. No agreement exists on the part of the School and any bidder until a written contract is approved and executed by the School.
- F. This IFB does not obligate the School to pay for any costs of any kind whatsoever that may be incurred by a bidder or any third parties in connection with a bid. All submitted bids, responses, and supporting documentation shall become property of the School. Further, the School shall not be liable to any bidder, person, or entity for any losses, expenses, costs, claims or damages of any kind arising out of, by reason of, or attributable to, the bidder responding to the IFB.

IV – SERVICE REQUIREMENTS

A. Expectations for HA

1. HA owns the building in which the work will take place and will permit the winning bidder to have adequate access to its land and buildings, as necessary, to complete this project. In addition, HA officials or representatives will be reasonably available to consult with and advise the winning bidder throughout this project.
2. HA will fund this project.

B. Expectations for Bidders

1. Bidders must hold current licensure to engage in the work described in this IFB.
2. Bidders that utilize subcontractors must ensure the subcontractors have current licensure to engage in the work described in this IFB. Subcontractors must sign an approved lien release form and have adequate insurance before bidders disburse payments to them.
3. Bidders must have adequate financing to fund their business and work obligations during the term of the contract.
4. Bidders must have sufficient general liability and workers comp insurance as well as auto insurance on all vehicles used in their business.
5. Bidders must have previously completed projects similar to the one described in this IFB for Utah charter or district schools.
6. Bidders must comply with and follow instructions in this IFB.
7. The winning bidder must enter into a written contract with the School within a reasonable deadline required by the School.
8. The winning bidder must meet all applicable legal requirements of charter school or school construction in the Utah and comply with all applicable building codes, statutes, and rules governing charter school or school construction.

C. Expectations Regarding Bid Pricing

1. Bidders must include a total anticipated guaranteed maximum price to be charged by the bidder to complete this project.

V – BID REQUIREMENTS

A. **Delivery of Bids.** Bids must be emailed to Gabe Clark at gabe@academicwest.com by the deadline provided above.

B. **Content of Bids.** Bidders must include the following in their bids:

1. ***Experience, Qualifications, and Track Record.*** Provide information demonstrating that the bidder has the experience and qualifications necessary to perform the work described in this IFB. The information must include such things as:
 - a. Summaries, examples, or lists of past (and current, if any) projects where bidder has performed work similar to the project described in this IFB for schools in Utah;
 - b. Information regarding qualifications and experience of bidder’s personnel.
2. ***Pricing.*** Provide documentation clearly indicating the total anticipated guaranteed maximum price to be charged by the bidder to complete this project with line items for each component of the total price.

C. **Selection.** The responsible bidder who submits the lowest responsive bid that meets the bidder expectations/objective criteria described in this IFB will be selected by the School to complete this project.

- D. Submission of Protected Information. Protection of disclosure of information submitted by a bidder in response to this IFB is governed by Utah's Government Records Access and management Act in Utah Code § 63G-2-101 *et seq.* and Utah Administrative Code Rules R33-7-105 and R33-7-106. A bidder that desires to request protected status of any information it submits to the School in response to this IFB must specifically identify the information that it desires to protect and the reasons that the information should be afforded protected status under the law. In making this request, the bidder shall comply with the requirements in Utah Code § 63G-2-305, Utah Code § 63G-2-309, and Utah Administrative Code Rule R33-7-105. In turn, the School will comply with Utah Code § 63G-2-309 and Utah Administrative Code Rule R33-7-106 with respect to disclosing such information. Submission of protected information in response to this IFB shall be deemed an acknowledgment and consent by the bidder that the bidder agrees with this paragraph and will indemnify, defend, and hold harmless the School, its members, directors, officers, staff, and agents from any and all liability relating to the proper disclosure of information provided by the bidder in response to this IFB, even if the bidder requested protected or other confidential status for the information.
- E. Submission of Bids with Protected Business Confidential Information. In accordance with Utah Administrative Code Rule R33-7-107, if a bidder submits a bid that contains information claimed to be business confidential or protected information, the bidder must submit two separate bids:
1. One redacted version for public release, with all protected business confidential information either blacked-out or removed, and marked as "Redacted Version;" and
 2. One non-redacted version for evaluation purposes clearly marked as "Protected Business Confidential."

Note: Bid pricing may not be classified as business confidential and will be considered public information. In addition, an entire bid may not be designated as "protected," "confidential," or "proprietary" and shall be considered non-responsive unless the bidder removes the designation.

In addition, per Utah Administrative Code Rule R33-6-112, the School is required to make available to each bidder and to the public a notice that includes (a) the name of the bidder to which the contract is awarded and the bidder's bid pricing; and (b) the names and the prices of each bidder to which the contract is not awarded.

EXHIBIT A

INDEX TO DRAWINGS

CVR	COVER SHEET / DRAWING INDEX
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C1.0	GENERAL NOTES
C1.1	SOUTH JORDAN CITY NOTES
C1.9	OVERALL SITE PLAN & DEMO PLAN
C2.0	SITE PLAN
C2.1	SITE DETAILS
C2.2	SITE DETAILS
C2.3	CONCRETE PAVEMENT DETAILS
C2.4	UDOT STD DWG PV 4
C2.5	UDOT STD DWG PV 1
C2.6	UDOT STD DWG GW 4A
C2.7	UDTO STD DWG ST 10
C3.0	GRADING / DRAINAGE PLAN
C3.1	GRADING / DRAINAGE DETAILS
C3.2	UDOT STD DWG CB 1 & GW 3
C3.3	UDOT STD DWG GF 3
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C4.1	UTILITY DETAILS
C4.2	UTILITY DETAILS
C4.3	PLAN & PROFILE
C4.4	WIER UTILITY PLAN
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C5.1	STORM WATER POLLUTION PREVENTION NOTES
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E1.1	ELECTRICAL SITE PLAN
E1.2	PHOTOMETRIC SITE PLAN
E1.3	PHOTOMETRIC SITE PLAN
E1.4	PHOTOMETRIC SITE PLAN
A1.0	EXTERIOR ELEVATIONS
A2.0	MAIN FLOOR PLAN
A2.1	ROOF PLAN
A2.2	REFLECTED CEILING PLAN
A2.3	EXIT DIAGRAM
A3.0	BUILDING SECTION
A3.1	BUILDING SECTION
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A4.1	ENLARGED RAMP/STAIR PLAN & DETAILS
A4.2	ENLARGED FLOOR PLAN 'A'
A4.3	ENLARGED FLOOR PLAN 'B'
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A7.0	CABINET ELEVATIONS
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A8.1	WALL SECTIONS
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S2.0	FOOTING / FOUNDATION PLAN
S2.1	FOOTING / FOUNDATION DETAILS
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S2.3	MASONRY DETAILS
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S2.5	ENLARGED FOOTING / FOUNDATION PLAN
S3.0	ROOF FRAMING PLAN
S3.1	ROOF FRAMING DETAILS
S3.2	ROOF JOIST BEARING & SPACING PLAN
S4.0	BRACED FRAME DETAILS
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E0.1	ELECTRICAL NOTES
E1.1	ELECTRICAL SITE PLAN
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E2.1B	POWER PLAN: AREA 'B'
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E3.1	LIGHTING PLAN: OVERALL
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P-000	PLUMBING SCHEDULES & DETAILS
P-100	MAIN FLOOR PLUMBING PLAN (AREA "A")
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P-400	LARGE SCALE PLUMBING PLANS & ISOMETRICS
P-401	PLUMBING DIAGRAM & DETAILS

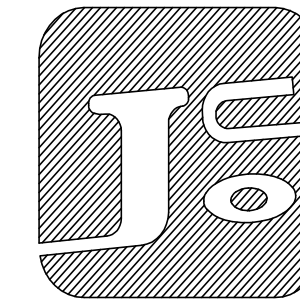
HAWTHORN ACADEMY: SOUTH JORDAN CAMPUS, APPROX. 11400 SOUTH, SOUTH JORDAN, UTAH

REVISIONS:
DATE: 03-02-2015
PROJECT: C.D.
DRAWN BY: JRL
CHECKED BY: JRL

NEW CHARTER SCHOOL:

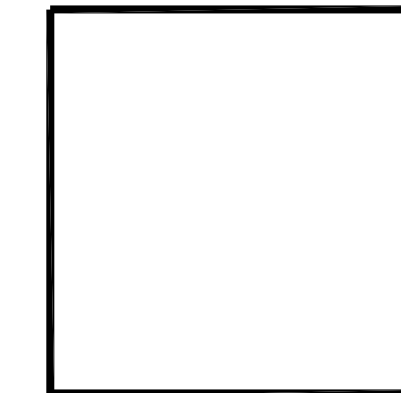
**HAWTHORN ACADEMY
SOUTH JORDAN CAMPUS**

**LOCATION:
APPROX. 11400 SOUTH
SOUTH JORDAN, UTAH**



**JAMES O. CHAMBERLIN
& ASSOCIATES
ARCHITECTS**

**177 E. ANTELOPE DR. #B
LAYTON, UT 84041
PHONE: (801) 499-5055
FAX: (801) 499-5065**



CIVIL ENGINEER	ELECTRICAL ENGINEER	2012 IBC CODE ANALYSIS																																																																
SILVERPEAK ENGINEERING ATTN: JOSH JENSEN 177 E ANTELOPE DR, SUITE B LAYTON, UT 84041 PHONE: (801) 499-5054 FAX: (801) 499-5065	PVE ENGINEERING ATTN: TODD HAIGHT 1040 NO. 2200 WEST SALT LAKE CITY, UT 84116 PHONE: (801) 359-3158	<table border="1"> <tr> <td>OCCUPANCY GROUP</td> <td>E</td> </tr> <tr> <td>CONSTRUCTION TYPE</td> <td>II - B</td> </tr> <tr> <td>ALLOWABLE AREA (TABLE 503)</td> <td>14,500 SQ. FT.</td> </tr> <tr> <td>AREA MODIFICATIONS (SECTION 506)</td> <td></td> </tr> <tr> <td>FIRE SPRINKLER INCREASE (300%)</td> <td>+43,500 SQ. FT.</td> </tr> <tr> <td>FRONTAGE INCREASE (75%)</td> <td>+ 10,875 SQ. FT.</td> </tr> <tr> <td>TOTAL ALLOWABLE AREA PER FLOOR</td> <td>68,875 SQ. FT.</td> </tr> <tr> <td>ACTUAL BUILDING AREA</td> <td>55,487 SQ.FT.</td> </tr> <tr> <td colspan="2">OCCUPANT LOADS (TABLE 1004.1.2)</td> </tr> <tr> <td>CLASSROOMS (20 NET)</td> <td>23,197 SQ. FT. / 20 = 1,160</td> </tr> <tr> <td>LIBRARY (50 NET)</td> <td>1,311 SQ. FT. / 50 = 27</td> </tr> <tr> <td>OFFICE AREAS (100 GROSS)</td> <td>2,534 SQ. FT. / 100 = 26</td> </tr> <tr> <td>KITCHEN (200 GROSS)</td> <td>995 SQ. FT. / 200 = 5</td> </tr> <tr> <td>CAFETERIA (15 NET)</td> <td>2,718 SQ. FT. / 15 = 182</td> </tr> <tr> <td>GYMNASIUM (7 NET)</td> <td>5,916 SQ. FT. / 7 = 846</td> </tr> <tr> <td>STAGE (15 NET)</td> <td>844 SQ. FT. / 15 = 57</td> </tr> <tr> <td>STORAGE (300 GROSS)</td> <td>2,903 SQ.FT. / 300 = 10</td> </tr> <tr> <td>TOTAL OCCUPANT LOAD BASED ON SQ. FT.</td> <td>2,313</td> </tr> <tr> <td>STUDENTS ALLOWED PER CHARTER</td> <td>750</td> </tr> <tr> <td>TOTAL STAFF</td> <td>80</td> </tr> <tr> <td>TOTAL OCCUPANT LOAD BASED ON EXCEPTION 1004.1.2</td> <td>830</td> </tr> <tr> <td colspan="2">EXITS REQUIRED</td> </tr> <tr> <td>EXITS PROVIDED</td> <td>4</td> </tr> <tr> <td>MAX. ALLOWABLE TRAVEL DISTANCE (1016.2)</td> <td>250'</td> </tr> <tr> <td>ACTUAL MAX. TRAVEL DISTANCE</td> <td>170'</td> </tr> <tr> <td>CORRIDOR RATING (TABLE 1018.1)</td> <td>0</td> </tr> <tr> <td>DRINKING FOUNTAINS REQUIRED (1 PER 100)</td> <td>830/100 = 9</td> </tr> <tr> <td>DRINKING FOUNTAINS PROVIDED</td> <td>11</td> </tr> <tr> <td>WATER CLOSETS REQUIRED (1 PER 50)</td> <td>830/50 = 17</td> </tr> <tr> <td>WATER CLOSETS PROVIDED</td> <td>25</td> </tr> <tr> <td>LAVATORIES REQUIRED (1 PER 50)</td> <td>830/50 = 17</td> </tr> <tr> <td>LAVATORIES PROVIDED</td> <td>21</td> </tr> </table>	OCCUPANCY GROUP	E	CONSTRUCTION TYPE	II - B	ALLOWABLE AREA (TABLE 503)	14,500 SQ. FT.	AREA MODIFICATIONS (SECTION 506)		FIRE SPRINKLER INCREASE (300%)	+43,500 SQ. FT.	FRONTAGE INCREASE (75%)	+ 10,875 SQ. FT.	TOTAL ALLOWABLE AREA PER FLOOR	68,875 SQ. FT.	ACTUAL BUILDING AREA	55,487 SQ.FT.	OCCUPANT LOADS (TABLE 1004.1.2)		CLASSROOMS (20 NET)	23,197 SQ. FT. / 20 = 1,160	LIBRARY (50 NET)	1,311 SQ. FT. / 50 = 27	OFFICE AREAS (100 GROSS)	2,534 SQ. FT. / 100 = 26	KITCHEN (200 GROSS)	995 SQ. FT. / 200 = 5	CAFETERIA (15 NET)	2,718 SQ. FT. / 15 = 182	GYMNASIUM (7 NET)	5,916 SQ. FT. / 7 = 846	STAGE (15 NET)	844 SQ. FT. / 15 = 57	STORAGE (300 GROSS)	2,903 SQ.FT. / 300 = 10	TOTAL OCCUPANT LOAD BASED ON SQ. FT.	2,313	STUDENTS ALLOWED PER CHARTER	750	TOTAL STAFF	80	TOTAL OCCUPANT LOAD BASED ON EXCEPTION 1004.1.2	830	EXITS REQUIRED		EXITS PROVIDED	4	MAX. ALLOWABLE TRAVEL DISTANCE (1016.2)	250'	ACTUAL MAX. TRAVEL DISTANCE	170'	CORRIDOR RATING (TABLE 1018.1)	0	DRINKING FOUNTAINS REQUIRED (1 PER 100)	830/100 = 9	DRINKING FOUNTAINS PROVIDED	11	WATER CLOSETS REQUIRED (1 PER 50)	830/50 = 17	WATER CLOSETS PROVIDED	25	LAVATORIES REQUIRED (1 PER 50)	830/50 = 17	LAVATORIES PROVIDED	21
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DEFERRED SUBMITTALS & SPECIAL INSPECTIONS	CURRENT CODE EDITIONS																																																																	
1. FIRE SPRINKLER DRAWINGS WILL BE PROVIDED PRIOR TO INSTALLATION. 2. SPECIAL INSPECTIONS REQUIRED FOR CONCRETE, MASONRY, EPOXY, SOILS & STRUCTURAL STEEL. SEE STRUCTURAL DRAWINGS FOR SPECIAL INSPECTION QUALIFICATION TABLES. 3. SPECIAL INSPECTIONS WILL BE PROVIDED BY INTERMOUNTAIN TESTING SERVICES. THEY CAN BE REACHED AT (801) 716-5355.	2012 IBC 2012 IFC 2012 IECC 2012 IPC 2012 IFGC 2012 IMC NEC 2011 2003 UPC ICC/ANSI A117.1-2009																																																																	

NEW CHARTER SCHOOL: HAWTHORN ACADEMY

LOCATION:

1437 WEST 11400 SOUTH
SOUTH JORDAN, UTAH

CURRENT ZONE: A-5

CONTRACTOR ONE WEST CONST.

ATTN: TED LEWIS
352 N. FLINT STREET
KAYSVILLE, UTAH 84037
PHONE: (801) 860-0523

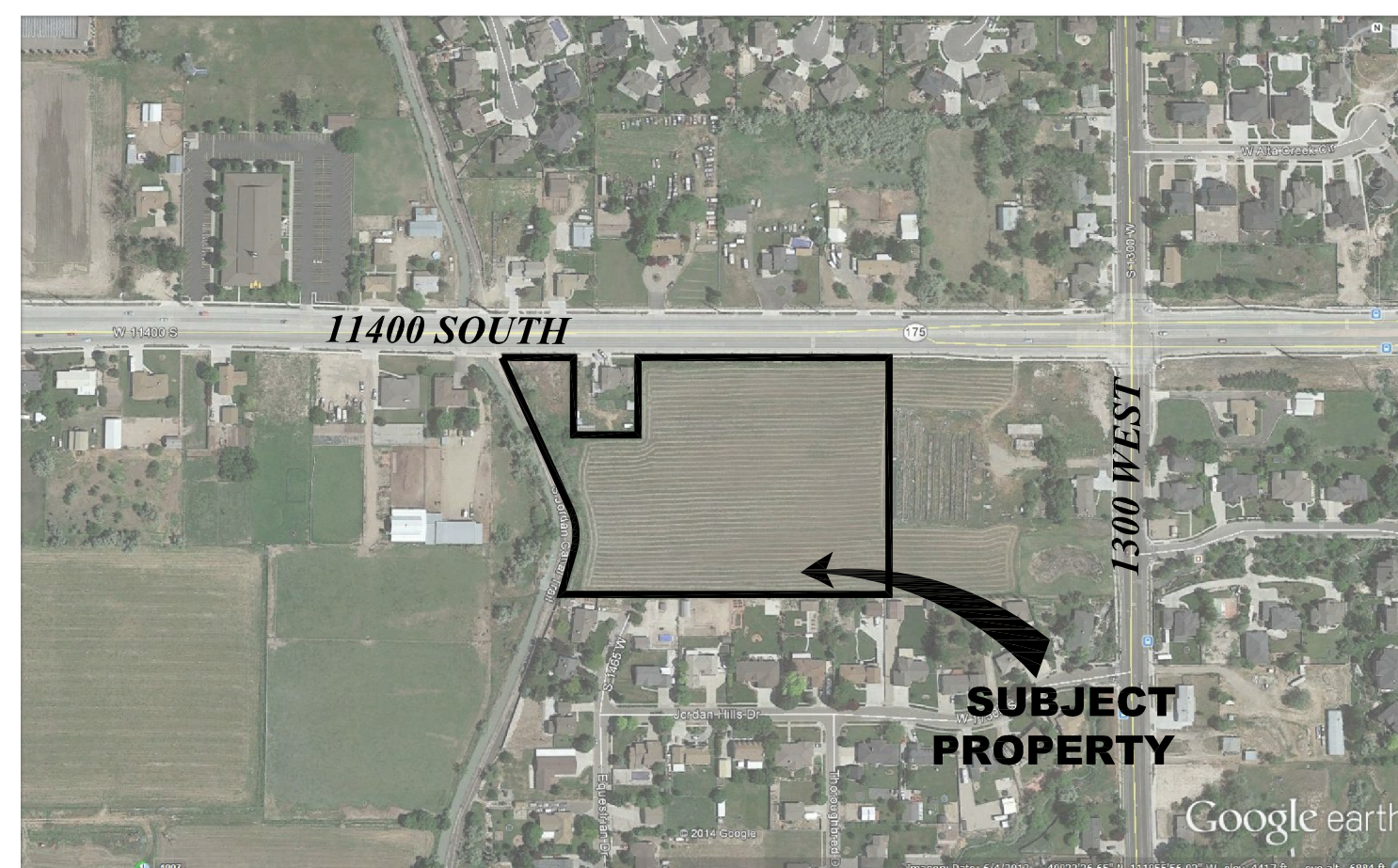


SILVERPEAK ENGINEERING



177 E. ANTELOPE DR.
LAYTON, UT 84041
PHONE: (801) 499-5054
FAX: (801) 499-5065

VICINITY MAP



UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

TRAFFIC CONTROL & SAFETY NOTES

TRAFFIC CONTROL PLAN FOR WORK WITHIN UDOT RIGHT OF WAY
MUST MEET UDOT STANDARDS & SPECIFICATIONS

- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, THE CURRENT SOUTH JORDAN CITY AND/OR UDOT STANDARD DRAWINGS, AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO ANY WORK.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- ALL SIGNAGE AND TRAFFIC DEVICES TO BE USED DURING AND AFTER THE CONSTRUCTION PERIOD SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

DEFERRED SUBMITTAL

1. FIRE SPRINKLER DRAWINGS & FIRE ALARM DRAWINGS WILL BE PROVIDED PRIOR TO INSTALLATION.

GENERAL NOTES

- ALL WORK WITHIN THE RIGHT OF WAY OWNER'S RIGHT OF WAY SHALL CONFORM TO THE RIGHT OF WAY OWNER'S STANDARDS & SPECIFICATIONS.
- ALL WORK PERFORMED ON SOUTH JORDAN OWNED UTILITIES & CONNECTIONS THERETO SHALL CONFORM TO THE SOUTH JORDAN STANDARDS & SPECIFICATIONS. APWA STANDARDS WILL BE USED IN THE ABSENCE OF ANY SOUTH JORDAN STANDARDS AND DETAILS.
- THESE PLANS CALL FOR BUT ARE NOT DESIGN DRAWINGS FOR THE RELOCATION, AND/OR REMOVAL OF EXISTING DRY UTILITIES INFRASTRUCTURE. DESIGN DRAWINGS FOR SAID RELOCATIONS AND REMOVALS SHALL BE BY OTHERS.
- CALL BLUESTAKES 48 HOURS PRIOR TO DIGGING.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE BUILDING OR STAKING ANY UTILITY LINES.

PERMISSION TO USE PLANS

ALL DESIGN INFORMATION DEPICTED IN THESE, THE "C" OR CIVIL DRAWINGS IS PROPRIETARY AND THE SOLE PROPERTY OF SILVERPEAK ENGINEERING, INC. THESE DRAWINGS MAY BE USED ONLY BY AUTHORIZATION BY SILVERPEAK ENGINEERING, INC. THIS DESIGN IN PART OR IN TOTAL BY NOT BE USED OR DUPLICATED FOR ANY OTHER PROJECT OR PURPOSE. NON PAYMENT OR PARTIAL PAYMENT FOR THIS DESIGN AUTOMATICALLY REVOKES THE AUTHORIZATION OF USE.

SOUTH VALLEY SEWER DISTRICT NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICTS DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES

INDEX TO DRAWINGS

- C0.1 CIVIL COVER SHEET
- C1.0 GENERAL NOTES
- C1.1 SOUTH JORDAN CITY NOTES
- C1.9 OVERALL SITE PLAN & DEMO PLAN
- C2.0 SITE PLAN
- C2.1 SITE DETAILS
- C2.2 SITE DETAILS
- C2.3 CONCRETE PAVEMENT DETAILS
- C2.4 UDOT STD DWG PV 4
- C2.5 UDOT STD DWG PV 1
- C2.6 UDOT STD DWG GW 4A
- C2.7 UDOT STD DWG ST 10
- C3.0 GRADING / DRAINAGE PLAN
- C3.1 GRADING / DRAINAGE DETAILS
- C3.2 UDOT STD DWG CB 1 & GW 3
- C3.3 UDOT STD DWG GF 3
- C3.4 UDOT STD DWG GF 5
- C4.0 UTILITY PLAN
- C4.1 UTILITY DETAILS
- C4.2 UTILITY DETAILS
- C4.3 PLAN & PROFILE
- C4.4 WIER UTILITY PLAN
- C5.0 STORM WATER POLLUTION PREVENTION PLAN
- C5.1 STORM WATER POLLUTION PREVENTION NOTES
- E1.0 ELECTRICAL SITE PLAN
- E1.1 ELECTRICAL SITE PLAN
- E1.2 PHOTOMETRIC SITE PLAN
- E1.3 PHOTOMETRIC SITE PLAN
- E1.4 PHOTOMETRIC SITE PLAN

GOVERNING AGENCIES

CITY ENGINEER

SOUTH JORDAN CITY ENGINEERING
1600 N. TOWNE CENTER DRIVE
SOUTH JORDAN, UTAH 84095
PH: (801) 254-3742
FAX: (801) 253-5235

CULINARY WATER

SOUTH JORDAN CITY
PUBLIC WORKS
10496 S. REDWOOD RD.
SOUTH JORDAN, UTAH 84095
PH: (801) 253-5230

FIRE DEPARTMENT

SOUTH JORDAN FIRE & RESCUE
PH: (801) 254-0948

STORM DRAIN

SOUTH JORDAN CITY
PUBLIC WORKS
10496 S. REDWOOD RD
SOUTH JORDAN, UTAH 84095
PH: (801) 253-5230

SEWER

SOUTH VALLEY SEWER DISTRICT
874 PIONEER ROAD
DRAPER, UTAH 84020
PH: (801) 571-1166

NATURAL GAS

QUESTAR CORPORATION
180 EAST 100 SOUTH
SALT LAKE CITY, UT 84145
MIKE DAVIS 801-345-6806

SECONDARY WATER

WELBY JACOB CANAL
TODD ADAMS
PH: 801-756-0304

POWER

ROCKY MOUNTAIN POWER
201 SOUTH MAIN ST., SUITE 2300
SALT LAKE CITY, UT 84111
CURTIS GALVEZ:
PH: 801-624-3474

TELEPHONE

CENTURYLINK TELEPHONE
1425 WEST 3100 SOUTH
SALT LAKE CITY, UT 84119
GARY WEAVER:
801-624-5380

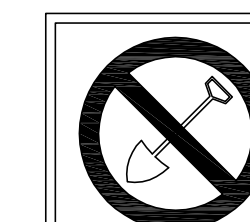
UDOT

UDOT REGION TWO PERMITS OFFICE
2010 SOUTH 2760 WEST
SALT LAKE CITY, UT 84104
PH: 801-975-4400

CITY ENGINEER

APPROVED THIS _____ DAY OF _____,
20__A.D.

CITY ENGINEER _____



CALL BLUESTAKES
@ 1-800-662-4111
AT LEAST 48 HOURS
PRIOR TO COMMENCING
ANY CONSTRUCTION

HAWTHORN ACADEMY, APPROX. 1437 11400 SOUTH, SOUTH JORDAN, UTAH

SHEET NUMBER:

C0.1

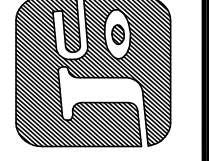
COVER

SEAL:

DATE: 03-02-2015
PROJECT: HAWTHORN ACADEMY
DRAWN BY: C.D.
CHECKED BY:

DRAWING DESCRIPTION:
FLOOR FINISH PLAN

JAMES O. CHAMBERLIN & ASSOCIATES ARCHITECTS
177 E. ANTELOPE DR. #B
LAYTON, UT 84041
PHONE: (801) 499-5055
FAX: (801) 499-5065



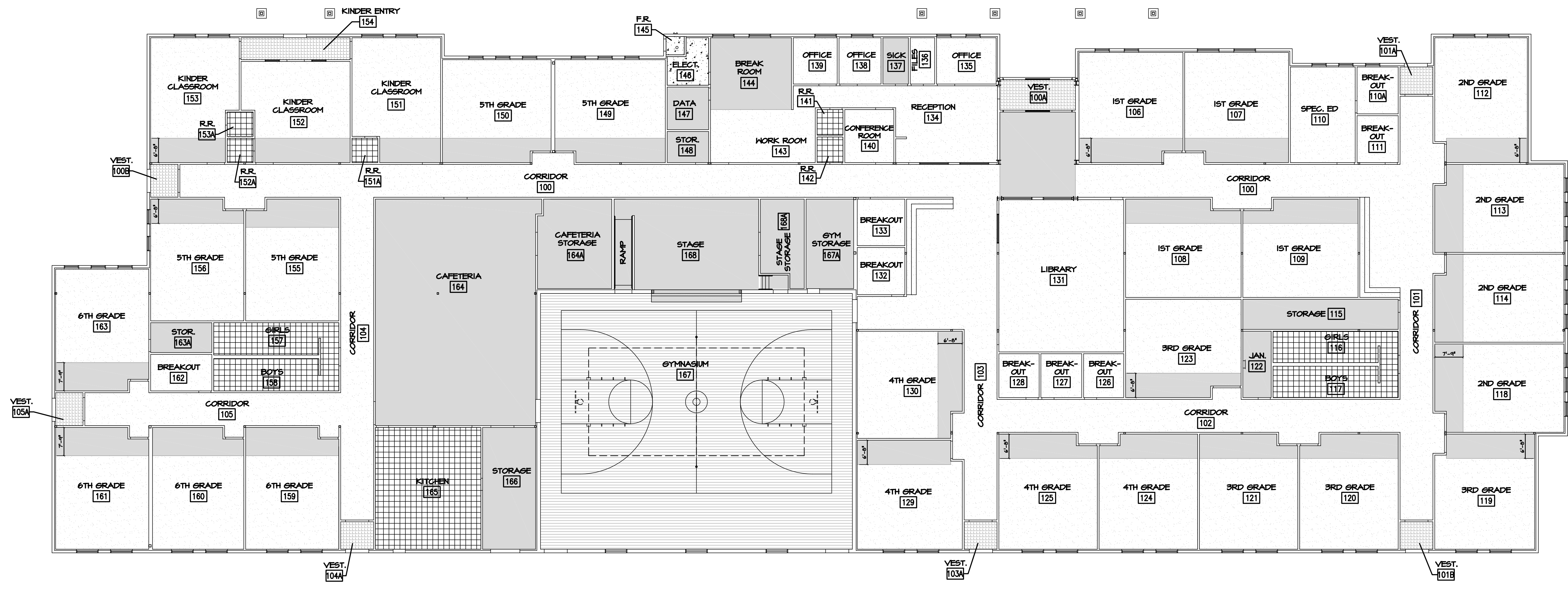
HAWTHORN ACADEMY: SOUTH JORDAN CAMPUS
APPROX. 1300 WEST 11400 SOUTH
SOUTH JORDAN, UTAH

SHEET NUMBER:
A5.1
FLOOR FINISH PLAN

HATCH	FLOOR FINISH	TOTAL AREA (SQ.FT.)
	VCT	11755
	VCP	5916
	TILE	2397
	CARPET	31274
	SEALED CONCRETE	146
	WALK-OFF MAT	760

NOTE: NUMBERS ARE APPROXIMATE, SUPPLIER TO FIELD VERIFY

NOTE: ALL THRESHOLDS TO BE A MAXIMUM OF 1/2" SEE DETAILS 1 & 2 ON SHEET A6.2



FLOOR FINISH PLAN
SCALE: 1/16" = 1'-0" (1/A5.1)

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

THROUGH-PENETRATION FIRESTOP SYSTEMS:

-A FIRE RESISTIVE WALL OR FLOOR MUST BE SEALED BACK TO ITS ORIGINAL FIRE INTEGRITY WHEN PENETRATED. CONTRACTOR TO USE THE UL DESIGN NUMBERS BELOW TO MAINTAIN FIRE RESISTIVE INTEGRITY.
 -STUD WALLS: W-L-1002
 -CMU WALLS: W-J-1009
 -CONCRETE FLOOR ASSEMBLY: F-A-1008

-FIRE RESISTIVE ROOMS:
 -FIRE RISER ROOM

FIRE EXTINGUISHER NOTE:

UPON COMPLETION OF THIS PROJECT, PROVIDE FIRE EXTINGUISHERS WITH A MIN. RATING OF 2A10BC. FIRE EXTINGUISHERS SHALL BE PLACED TO ENABLE A TRAVEL DISTANCE NOT MORE THAN 75' TO ACCESS FROM ANY POINT OF THE FACILITY.

NOTE: PROVIDE BLOCKING FOR FUTURE WHITE BOARDS. WHITE BOARD SYMBOL:

NOTE: PROVIDE HAND SINK, 4-GPM SINK & VENTILATION HOOD. ALL OTHER KITCHEN EQUIPMENT PROVIDED BY TENANT

SEAL:

DATE: 03-02-2015
 PROJECT: HAWTHORN ACADEMY
 DRAWN BY: C.D.
 CHECKED BY:

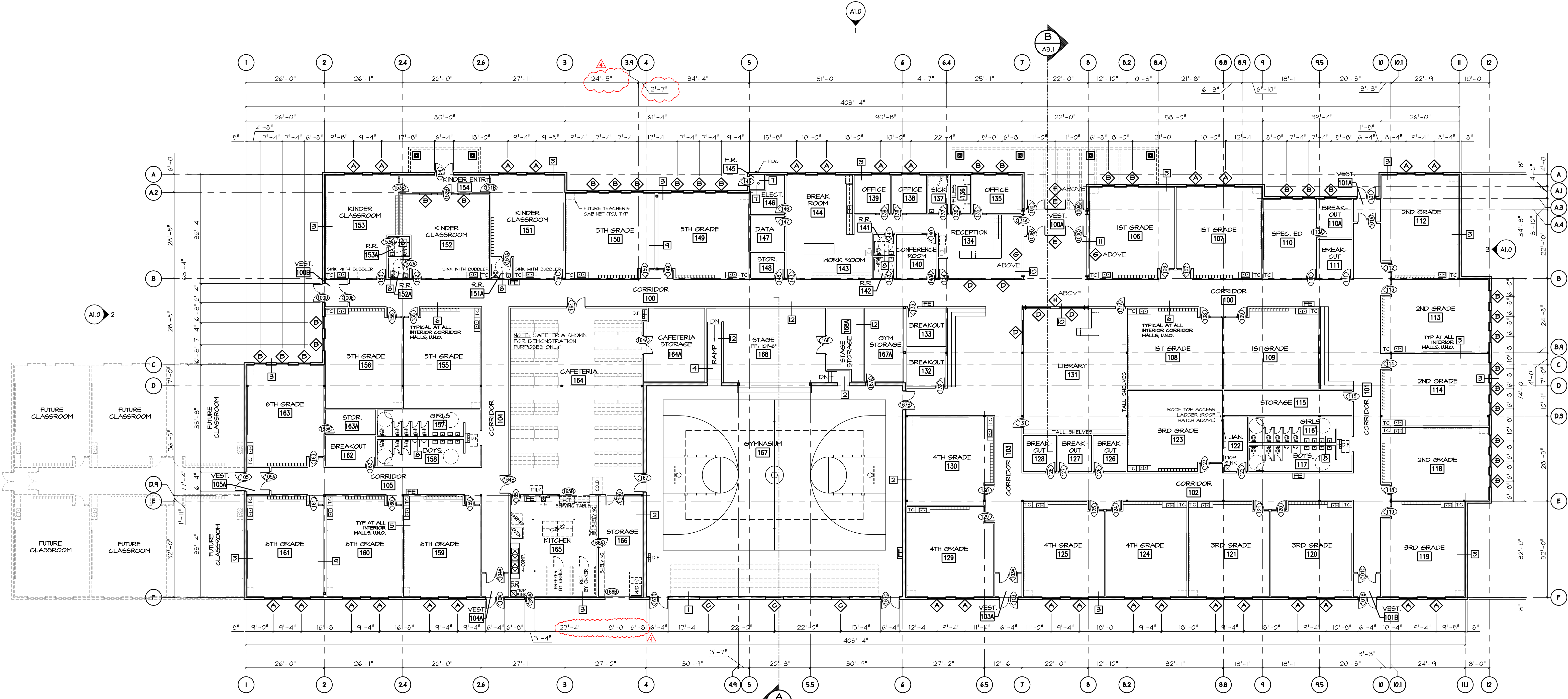
DRAWING DESCRIPTION:
MAIN FLOOR PLAN

JAMES O. CHAMBERLIN ARCHITECTS
 177 E. ANTELOPE DR. #B
 LAYTON, UT 84041
 PHONE: (801) 499-5055
 FAX: (801) 499-5065



HAWTHORN ACADEMY: SOUTH JORDAN CAMPUS
 APPROX. 1300 WEST 11400 SOUTH
 SOUTH JORDAN, UTAH

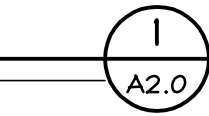
SHEET NUMBER:
A2.0



WALL TYPES LEGEND	
SEE WALL SECTIONS FOR FULL DETAIL	
WALL	DESCRIPTION
1 HR WALL SHOWN SHADED	MTL STUDS @ 16" O.C., WITH 5/8" TYPE 'X' G.W.B. TO STEEL DECK (UL DES U419)
INTERIOR FUR OUT WALLS	3 5/8" 20 GA MTL STUDS @ 16" O.C., WITH 5/8" G.W.B. ON FINISH SIDE U.N.O.
INTERIOR PARTITION WALLS	6" 20 GA MTL STUDS @ 16" O.C., WITH 5/8" G.W.B. BOTH SIDES.
BACK-TO-BACK REST ROOM PLUMBING WALL	(2) ROWS 6" 20 GA MTL STUDS @ 16" O.C., WITH 5/8" WATER-RESISTANT G.W.B.
REST ROOM PLUMBING WALL	6" 20 GA MTL STUDS @ 16" O.C., WITH 5/8" WATER-RESISTANT G.W.B.
EXTERIOR WALLS	8" CMU WALLS
EXTERIOR WALLS	12" CMU WALLS

CHILDREN'S REACH RANGES			
SEE 2010 ADA TABLE 308.1			
FORWARD OR SIDE REACH	AGES 3-4	AGES 5-8	AGES 9-12
HIGH (MAXIMUM)	36 INCHES	40 INCHES	44 INCHES
LOW (MINIMUM)	20 INCHES	18 INCHES	16 INCHES

MAIN FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 55,481 SQ.FT.



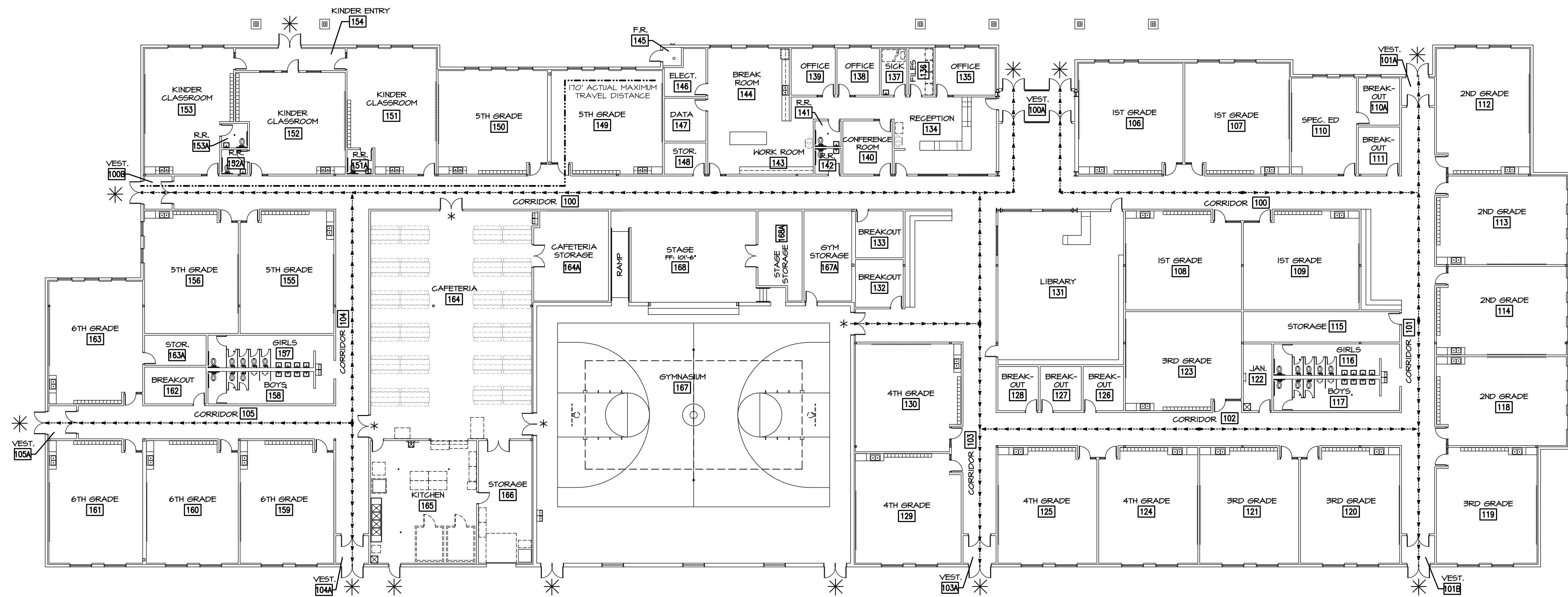
SEE ENLARGED PLANS FOR INTERIOR DIMENSIONS

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

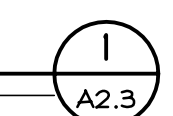
SEAL:

LEGEND	
SYMBOL	DESCRIPTION
* (with asterisk in a circle)	EXTERIOR EXIT DOORWAY
*	INTERIOR EXIT DOORWAY
→ (dashed line)	EXIT PATH
--- (dotted line)	ACTUAL MAXIMUM TRAVEL DISTANCE

NOTE: THE MAX. ALLOWABLE TRAVEL DISTANCE FOR THIS BUILDING IS 250' PER IBC TABLE 1016.2



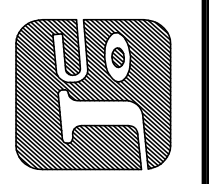
EXIT DIAGRAM
SCALE: 1/16" = 1'-0"



DATE: 03-02-2015
PROJECT: C.D.
DRAWN BY: C.D.
CHECKED BY:

DRAWING DESCRIPTION:
EXIT DIAGRAM

JAMES O. CHAMBERLIN ARCHITECTS
177 E. ANTELOPE DR. #B
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FAX: (801) 499-5065



HAWTHORN ACADEMY: SOUTH JORDAN CAMPUS
APPROX. 1300 WEST 11400 SOUTH
SOUTH JORDAN, UTAH

SHEET NUMBER:
A2.3
EXIT DIAGRAM

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

SEAL:

REVISION:
DATE: 03-02-2015
PROJECT:
DRAWN BY: C.D.
CHECKED BY:

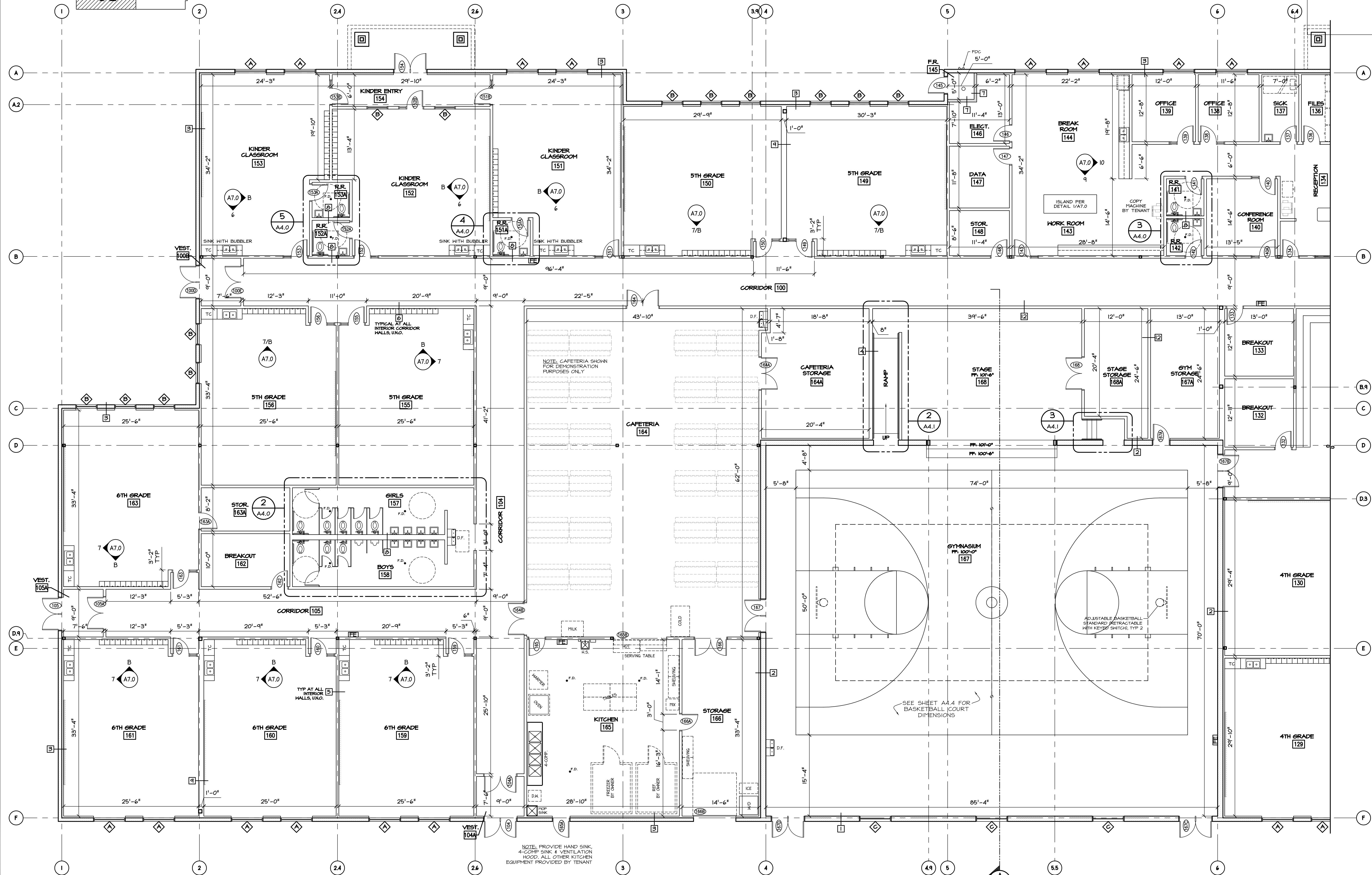
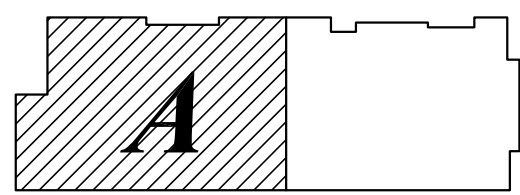
DRAWING DESCRIPTION:
ENLARGED PLAN

JAMES O. CHAMBERLIN
& ASSOCIATES
ARCHITECTS
177 E. ANELOPE DR. #B
LAYTON, UT 84041
PHONE: (801) 499-5055
FAX: (801) 499-5065

HAWTHORN ACADEMY: SOUTH JORDAN CAMPUS
APPROX. 1300 WEST 11400 SOUTH
SOUTH JORDAN, UTAH

SHEET NUMBER:
A4.2
ENLARGED PLAN

KEY PLAN



NOTE:
-INTERIOR DIMENSIONS ARE TO METAL STUD FRAMING, GYPSUM WALL BOARD NOT SHOWN FOR CLARITY PURPOSES.

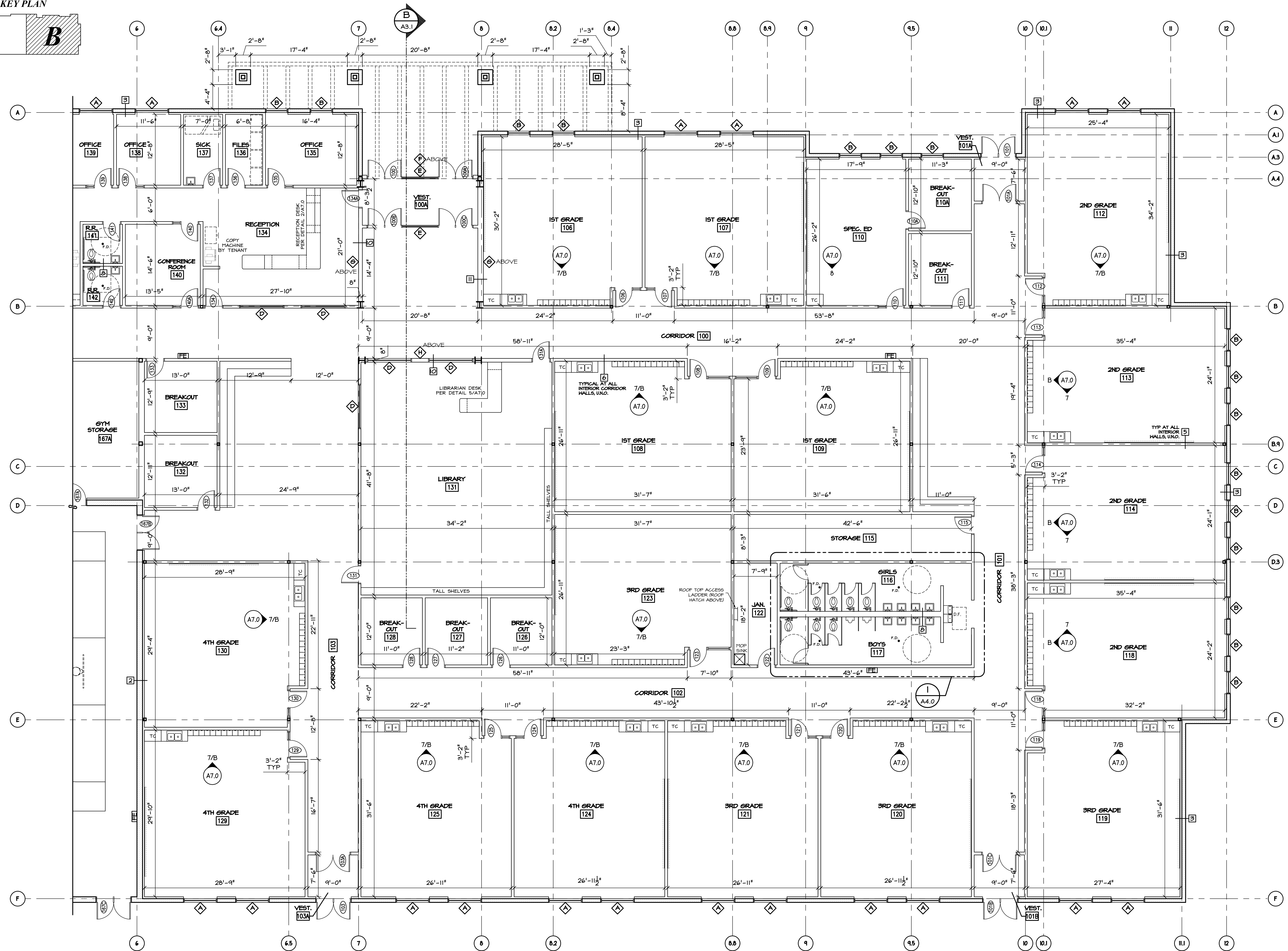
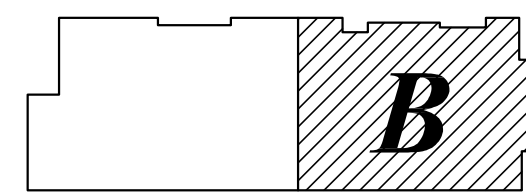
NOTE, PROVIDE HAND SINK, 4-COMP SINK & VENTILATION HOOD. ALL OTHER KITCHEN EQUIPMENT PROVIDED BY TENANT

SEE SHEET A4.4 FOR BASKETBALL COURT DIMENSIONS

ENLARGED PLAN A
SCALE: 1/8" = 1'-0"

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

KEY PLAN



NOTE:
-INTERIOR DIMENSIONS ARE TO METAL STUD FRAMING, GYPSUM WALL BOARD NOT SHOWN FOR CLARITY PURPOSES.

ENLARGED PLAN B
SCALE: 1/8" = 1'-0"

1
A4.3

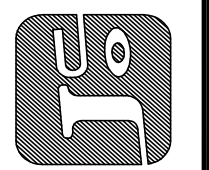
SEAL:

DATE: 03-02-2015
PROJECT: C.D.
DRAWN BY: C.D.
CHECKED BY:

DRAWING DESCRIPTION:
ENLARGED PLAN

JAMES O. CHAMBERLIN
177 E. ANTELOPE DR. #B
LAYTON, UT 84041
PHONE: (801) 499-5055
FAX: (801) 499-5065

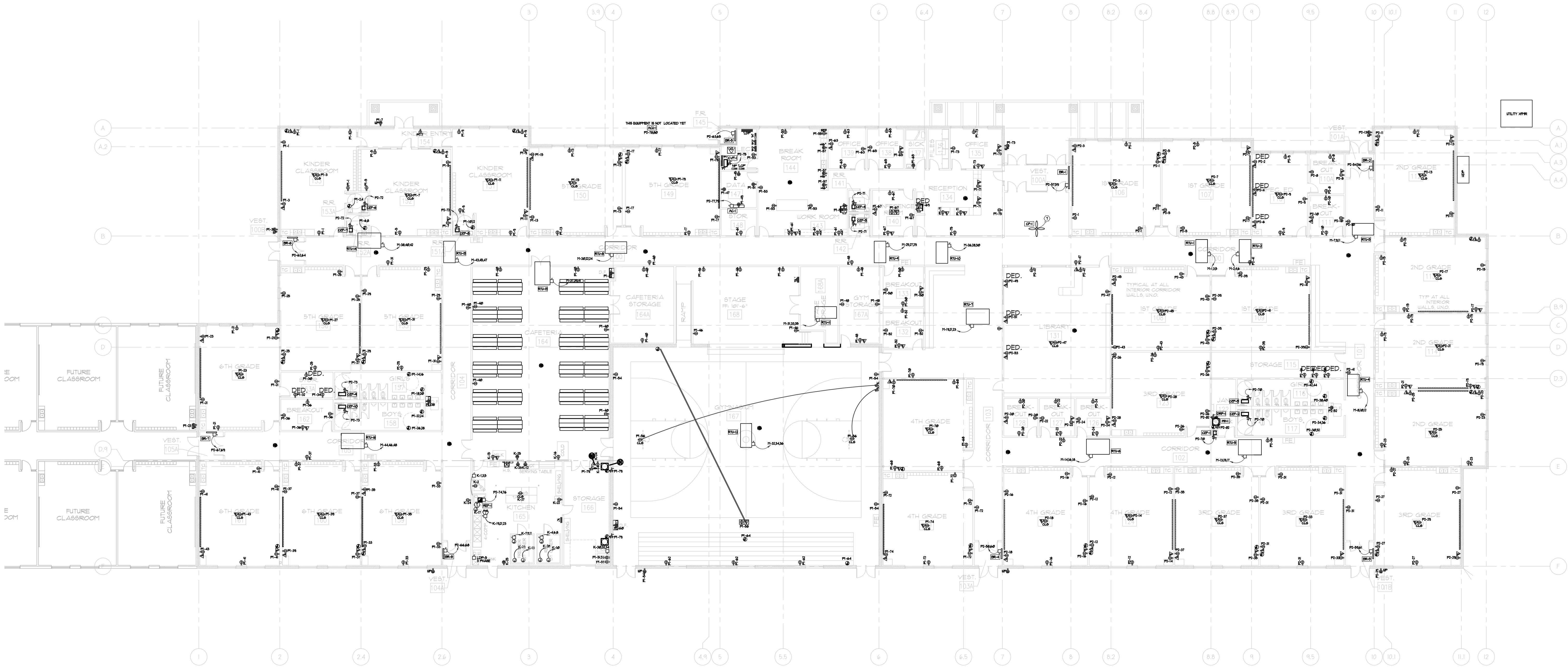
JAMES O. CHAMBERLIN
& ASSOCIATES
ARCHITECTS



HAWTHORN ACADEMY: SOUTH JORDAN CAMPUS
APPROX. 1300 WEST 11400 SOUTH
SOUTH JORDAN, UTAH

SHEET NUMBER:
A4.3

By: hight, Mar 02, 2015 - 9:08am, C:\Users\Theight.PVE-UT08\Dropbox\Work\15009.01 - Hawthorn Academy\Copy\right\15009.dwg PVE, Inc. Salt Lake City, Utah. All rights reserved. Unauthorized copying and/or use is illegal and subject to prosecution.



A POWER PLAN OVERALL
E2.1 SCALE: 1/16" = 1'-0"

ALDER ELECTRIC
ENGINEERING AND ELECTRICAL SERVICES
DESIGN BUILD - COMMERCIAL - INDUSTRIAL

THIS DRAWING EMBODIES IDEAS, DESIGN, ARRANGEMENTS, PLANS AND SPECIFICATIONS WHICH ARE PROPRIETARY TO ALDER ELECTRIC COMPANY, LLC AND WHICH WERE DESIGNED, CREATED, EVOLVED AND DEVELOPED FOR USE SOLELY BY ALDER ELECTRIC COMPANY, LLC IN CONNECTION WITH THIS SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS HERETO IS INTENDED OR EFFECTED BY DELIVERY HEREOF, AND EXCEPT UPON THE WRITTEN PERMISSION OF ALDER ELECTRIC COMPANY, LLC, THIS DRAWING IS NOT TO BE DISCLOSED TO OTHERS, REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN FABRICATION CONSTRUCTION OF BUILDINGS, STRUCTURES, FOUNDATIONS OR ANY PORTION THEREOF. FOR OTHER THAN THIS SPECIFIED PROJECT BY ALDER ELECTRIC COMPANY, LLC, THIS IS NOT INTENDED TO BE A FULL REPRESENTATION OF THE ELECTRICAL SERVICES ON THE PROJECT AND CAN NOT BE VIEWED AS SUCH DUE TO THE DESIGN NATURE AND THE INTENTION THAT ALDER ELECTRIC COMPANY, LLC WILL BE THE ELECTRICAL CONTRACTOR ON THE PROJECT. THE ELECTRICAL DESIGN LIABILITY FOR THIS PROJECT IS ONLY ASSUMED UNDER THESE CONDITIONS AND IS VOID UNDER ANY OTHER CIRCUMSTANCES WITHOUT PRIOR WRITTEN APPROVAL FROM ALDER ELECTRIC COMPANY, LLC.



PVE Inc.
Consulting Mechanical Electrical Engineers
1040 North 2300 West, Suite 100
Salt Lake City, Utah 84116
(801) 559-3158 Fax: (801) 521-4114

HAWTHORN ACADEMY
SOUTH JORDAN, UT

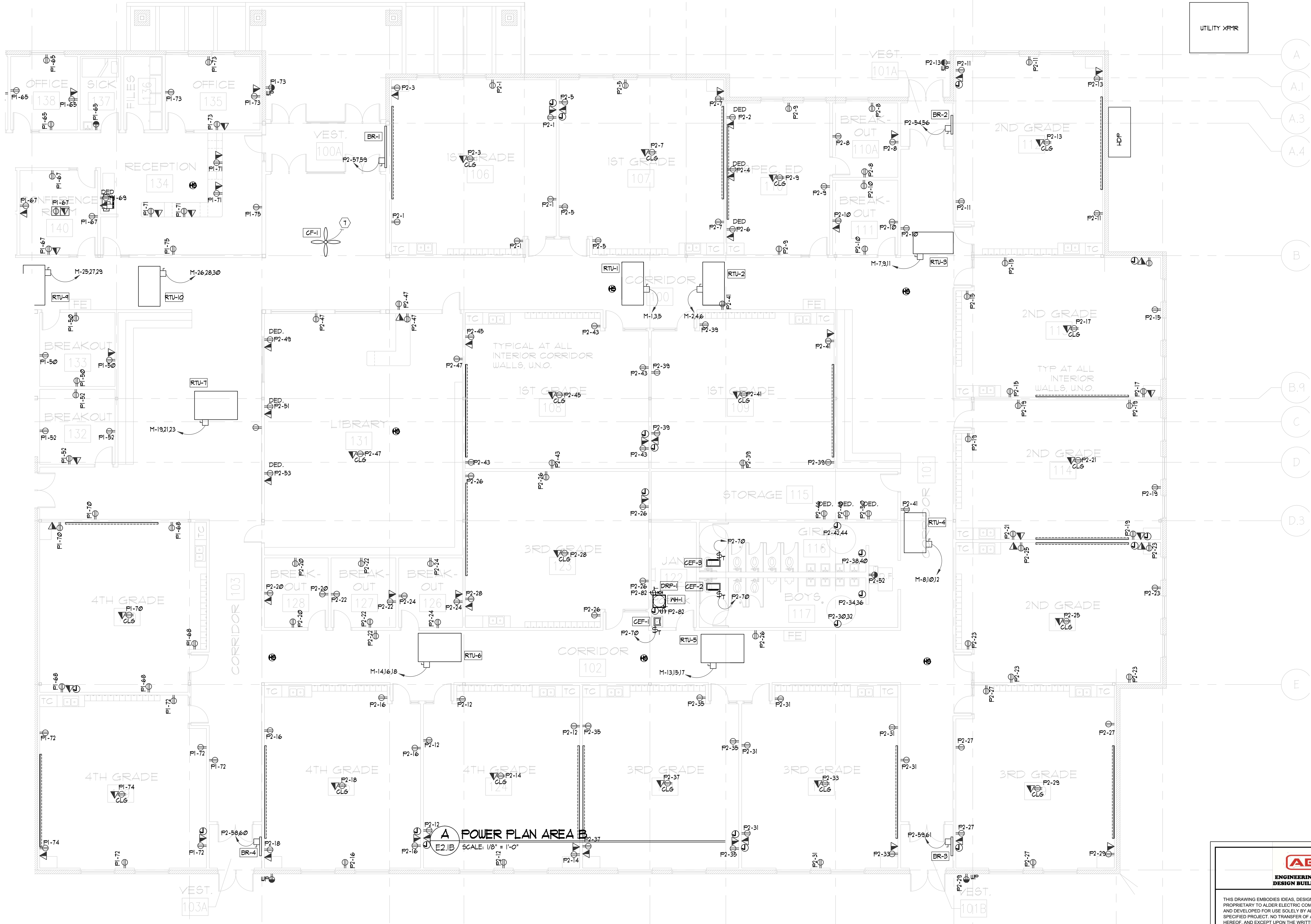
NO.	DATE	DESCRIPTION	CITY COMMENTS
1	2-25-2015		

DATE:
SCALE: SEE Dwg.
DRAWN:
CHECKED:
JOB NO.: 00000

SHEET TITLE
POWER PLAN AREA A

SHEET NO.
E2.1

By: thaght, Mar 02, 2015 - 9:08am, C:\Users\thaght\PVE\Dropbox\Work\15009.01 - Hawthorn Academy\15009.01 - Hawthorn Academy\15009.01.dwg PVE, Inc. Salt Lake City, Utah. All rights reserved. Unauthorized copying and/or use is illegal and subject to prosecution.



UTILITY XFR

AE ALDER ELECTRIC
ENGINEERING AND ELECTRICAL SERVICES
DESIGN BUILD - COMMERCIAL - INDUSTRIAL

THIS DRAWING EMBODIES IDEAS, DESIGN, ARRANGEMENTS, PLANS AND SPECIFICATIONS WHICH ARE PROPRIETARY TO ALDER ELECTRIC COMPANY, LLC AND WHICH WERE DESIGNED, CREATED, EVOLVED AND DEVELOPED FOR USE SOLELY BY ALDER ELECTRIC COMPANY, LLC IN CONNECTION WITH THIS SPECIFIED PROJECT. NO TRANSFER OF ANY RIGHTS HERETO IS INTENDED OR EFFECTED BY DELIVERY HEREOF, AND EXCEPT UPON THE WRITTEN PERMISSION OF ALDER ELECTRIC COMPANY, LLC, THIS DRAWING IS NOT TO BE DISCLOSED TO OTHERS, REPRODUCED OR COPIED IN WHOLE OR PART, OR USED IN FABRICATION, CONSTRUCTION OF BUILDINGS, STRUCTURES, FOUNDATIONS OR ANY PORTION THEREOF. FOR OTHER THAN THIS SPECIFIED PROJECT BY ALDER ELECTRIC COMPANY, LLC, THIS IS NOT INTENDED TO BE A FULL REPRESENTATION OF THE ELECTRICAL SERVICES ON THE PROJECT AND CAN NOT BE VIEWED AS SUCH DUE TO THE DESIGN NATURE AND THE INTENTION THAT ALDER ELECTRIC COMPANY, LLC WILL BE THE ELECTRICAL CONTRACTOR ON THE PROJECT. THE ELECTRICAL DESIGN LIABILITY FOR THIS PROJECT IS ONLY ASSUMED UNDER THESE CONDITIONS AND IS VOID UNDER ANY OTHER CIRCUMSTANCES WITHOUT PRIOR WRITTEN APPROVAL FROM ALDER ELECTRIC COMPANY, LLC.



PVE inc.
Consulting Mechanical Electrical Engineers
1040 North 2200 West, Suite 100
Salt Lake City, Utah 84116
(801) 559-3158 Fax: (801) 521-4114

HAWTHORN ACADEMY

SOUTH JORDAN, UT

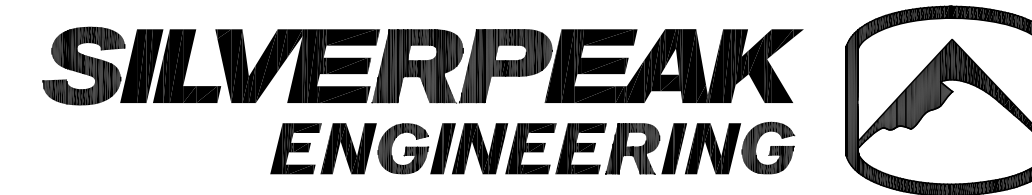
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1	2-25-2015		

DATE:
SCALE: SEE Dwg.
DRAWN:
CHECKED:
JOB NO.: 000000

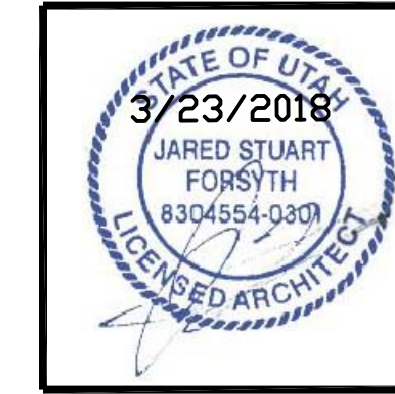
SHEET TITLE
POWER PLAN AREA B

SHEET NO.
E2.1B

TENANT IMPROVEMENT FOR:
**HAWTHORN
 ACADEMY**



177 E. ANTELOPE DR. STE. B
 LAYTON, UT 84041
 PHONE: (801) 499-5054



LOCATION:
 1437 W 11400 S
 SOUTH JORDAN, UTAH

INDEX TO DRAWINGS

CVR	COVER SHEET / DRAWING INDEX
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A111	MAIN FLOOR PLAN
A131	REFLECTED CEILING PLAN
A141	FLOOR FINISH PLAN
A151	EXIT DIAGRAM
A301	BUILDING SECTION
A401	ENLARGED FLOOR PLAN
A501	ADA DETAILS
A502	DOOR & WINDOW DETAILS
A601	SCHEDULES & CABINET ELEVATIONS
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E501	ELECTRICAL SCHEDULES
E601	ELECTRICAL DETAILS
M-100	HVAC FLOOR PLAN, SCHEDULES AND DETAILS
M-700	MECHANICAL CONTROLS AND DETAILS
P-100	PLUMBING FLOOR PLAN, SCHEDULES AND DETAILS

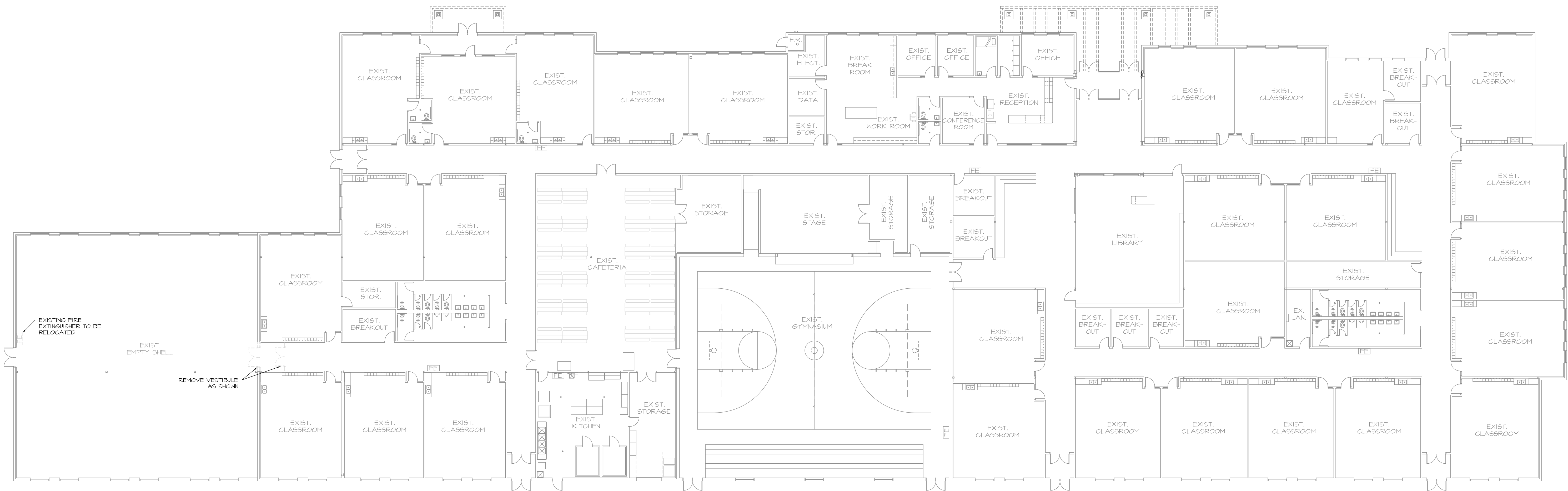
REVISIONS:
 DATE: 03-23-2018
 PROJECT: AW-015-03
 DRAWN BY: C.D.
 CHECKED: JRU

HAWTHORN ACADEMY TENANT IMPROVEMENT, 1437 W 11400 S, SOUTH JORDAN, UTAH

ARCHITECT	ELECTRICAL ENGINEER	2015 IBC CODE ANALYSIS																																																														
SILVERPEAK ENGINEERING ATTN: JARED FORSYTH 177 E ANTELOPE DR, SUITE B LAYTON, UT 84041 PHONE: (801) 499-5054	PVE ENGINEERING ATTN: TODD HAIGHT 1040 NO. 2200 WEST SALT LAKE CITY, UT 84116 PHONE: (801) 359-3158	<table border="1"> <tr> <td>OCCUPANCY GROUP</td> <td>E</td> </tr> <tr> <td>CONSTRUCTION TYPE</td> <td>II - B</td> </tr> <tr> <td>FIRE SPRINKLERS PROVIDED?</td> <td>YES</td> </tr> <tr> <td>TOTAL NUMBER OF STORIES</td> <td>1</td> </tr> <tr> <td>TOTAL ALLOWABLE AREA (506.2.1) $A_a = A_t + (N_s \times I_p)$ $A_a = 58,000 + (14,500 \times 0.75) = 68,875$</td> <td>68,875 SQ. FT.</td> </tr> <tr> <td>TOTAL EXISTING BUILDING AREA</td> <td>61,571 SQ. FT.</td> </tr> <tr> <td colspan="2">OCCUPANT LOADS (TABLE 1004.1.2)</td> </tr> <tr> <td>NEW CLASSROOMS (20 NET)</td> <td>4,798 SQ. FT. / 20 = 240</td> </tr> <tr> <td>EXIST. CLASSROOMS (20 NET)</td> <td>23,197 SQ. FT. / 20 = 1,160</td> </tr> <tr> <td>EXIST. LIBRARY (50 NET)</td> <td>1,311 SQ. FT. / 50 = 27</td> </tr> <tr> <td>EXIST. OFFICE AREAS (100 GROSS)</td> <td>2,534 SQ. FT. / 100 = 26</td> </tr> <tr> <td>EXIST. KITCHEN (200 GROSS)</td> <td>995 SQ. FT. / 200 = 5</td> </tr> <tr> <td>EXIST. CAFETERIA (15 NET)</td> <td>2,718 SQ. FT. / 15 = 182</td> </tr> <tr> <td>EXIST. GYMNASIUM (7 NET)</td> <td>5,916 SQ. FT. / 7 = 846</td> </tr> <tr> <td>EXIST. STAGE (15 NET)</td> <td>844 SQ. FT. / 15 = 57</td> </tr> <tr> <td>EXIST. STORAGE (300 GROSS)</td> <td>2,903 SQ.FT. / 300 = 10</td> </tr> <tr> <td>TOTAL OCCUPANT LOAD BASED ON SQ. FT.</td> <td>2,553</td> </tr> <tr> <td>STUDENTS ALLOWED PER CHARTER</td> <td>750</td> </tr> <tr> <td>TOTAL STAFF</td> <td>75</td> </tr> <tr> <td>TOTAL OCCUPANT LOAD BASED ON EXCEPTION 1004.1.2</td> <td>825</td> </tr> <tr> <td>EXITS REQUIRED</td> <td>4</td> </tr> <tr> <td>EXITS PROVIDED</td> <td>10</td> </tr> <tr> <td>MAX. ALLOWABLE TRAVEL DISTANCE (1016.2)</td> <td>250'</td> </tr> <tr> <td>ACTUAL MAX. TRAVEL DISTANCE</td> <td>170'</td> </tr> <tr> <td>CORRIDOR RATING (TABLE 1018.1)</td> <td>0</td> </tr> <tr> <td>DRINKING FOUNTAINS REQUIRED (1 PER 100)</td> <td>825/100 = 9</td> </tr> <tr> <td>DRINKING FOUNTAINS PROVIDED</td> <td>11</td> </tr> <tr> <td>WATER CLOSETS REQUIRED (1 PER 50)</td> <td>825/50 = 17</td> </tr> <tr> <td>WATER CLOSETS PROVIDED</td> <td>25</td> </tr> <tr> <td>LAVATORIES REQUIRED (1 PER 50)</td> <td>825/50 = 17</td> </tr> <tr> <td>LAVATORIES PROVIDED</td> <td>21</td> </tr> </table>	OCCUPANCY GROUP	E	CONSTRUCTION TYPE	II - B	FIRE SPRINKLERS PROVIDED?	YES	TOTAL NUMBER OF STORIES	1	TOTAL ALLOWABLE AREA (506.2.1) $A_a = A_t + (N_s \times I_p)$ $A_a = 58,000 + (14,500 \times 0.75) = 68,875$	68,875 SQ. FT.	TOTAL EXISTING BUILDING AREA	61,571 SQ. FT.	OCCUPANT LOADS (TABLE 1004.1.2)		NEW CLASSROOMS (20 NET)	4,798 SQ. FT. / 20 = 240	EXIST. CLASSROOMS (20 NET)	23,197 SQ. FT. / 20 = 1,160	EXIST. LIBRARY (50 NET)	1,311 SQ. FT. / 50 = 27	EXIST. OFFICE AREAS (100 GROSS)	2,534 SQ. FT. / 100 = 26	EXIST. KITCHEN (200 GROSS)	995 SQ. FT. / 200 = 5	EXIST. CAFETERIA (15 NET)	2,718 SQ. FT. / 15 = 182	EXIST. GYMNASIUM (7 NET)	5,916 SQ. FT. / 7 = 846	EXIST. STAGE (15 NET)	844 SQ. FT. / 15 = 57	EXIST. STORAGE (300 GROSS)	2,903 SQ.FT. / 300 = 10	TOTAL OCCUPANT LOAD BASED ON SQ. FT.	2,553	STUDENTS ALLOWED PER CHARTER	750	TOTAL STAFF	75	TOTAL OCCUPANT LOAD BASED ON EXCEPTION 1004.1.2	825	EXITS REQUIRED	4	EXITS PROVIDED	10	MAX. ALLOWABLE TRAVEL DISTANCE (1016.2)	250'	ACTUAL MAX. TRAVEL DISTANCE	170'	CORRIDOR RATING (TABLE 1018.1)	0	DRINKING FOUNTAINS REQUIRED (1 PER 100)	825/100 = 9	DRINKING FOUNTAINS PROVIDED	11	WATER CLOSETS REQUIRED (1 PER 50)	825/50 = 17	WATER CLOSETS PROVIDED	25	LAVATORIES REQUIRED (1 PER 50)	825/50 = 17	LAVATORIES PROVIDED	21
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MECHANICAL ENGINEER																																																																
CUNNING & ASSOCIATES ATTN: NORM CUNNING 591 NO. MAIN CLEARFIELD, UT 84015 PHONE: (801) 726-5047 FAX: (801) 779-0939																																																																
CURRENT CODE EDITIONS	DEFERRED SUBMITTALS & SPECIAL INSPECTIONS																																																															
2015 IBC 2015 IFC 2015 IECC 2015 IPC 2015 IFGC 2015 IMC NEC 2011 2003 UPC ICC/ANSI A117.1-2009	<ol style="list-style-type: none"> FIRE SPRINKLER & ALARM DRAWINGS WILL BE PROVIDED PRIOR TO INSTALLATION. SPECIAL INSPECTIONS REQUIRED FOR CONCRETE, MASONRY, EPOXY, SOILS & STRUCTURAL STEEL. SEE STRUCTURAL DRAWINGS FOR SPECIAL INSPECTION QUALIFICATION TABLES. SPECIAL INSPECTIONS WILL BE PROVIDED BY INTERMOUNTAIN TESTING SERVICES. THEY CAN BE REACHED AT 801-776-5355. 																																																															

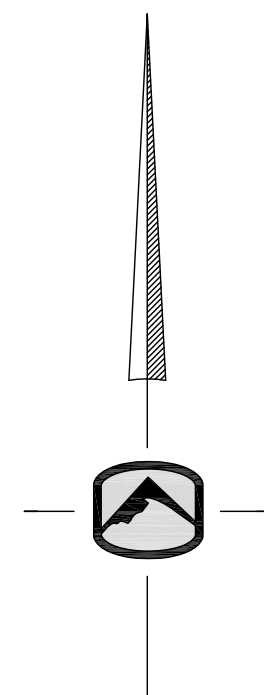
DEMOLITION PLAN GENERAL NOTES

1. CONTRACTOR TO COORDINATE DEMOLITION WORK SEQUENCE. REFERENCE PHASING DRAWINGS WHERE APPLICABLE.
2. DEMOLITION DRAWINGS REPRESENT EXISTING CONDITIONS BASED ON LIMITED EXISTING DRAWINGS AND SITE OBSERVATIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING BUILDING AND SITE CONDITIONS.
3. DEMOLITIONS DRAWINGS GENERALLY INDICATE EXISTING SCOPE OF WORK TO BE DEMOLISHED AND ARE NOT INTENDED TO LIMIT OR FULLY DEFINE THE SCOPE OF WORK TO BE REMOVED IN ORDER TO ACCOMPLISH SCOPE OF NEW CONSTRUCTION. WHERE THESE CONDITIONS OCCUR OUTSIDE OF THE DEMOLITION LIMITS, AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AS PART OF THE NEW CONSTRUCTION SCOPE OF WORK.
4. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONSTRUCTION AND CONSTRUCTION DOCUMENTS.
5. REFERENCE STRUCTURAL, CIVIL, AND MEP DRAWINGS FOR OTHER DISCIPLINE DEMOLITION SCOPE OF WORK.
6. WHERE EXISTING WALL MOUNTED DEVICES, FIXTURES OR OTHER WALL MOUNTED ITEMS ARE SCHEDULED TO BE SALVAGED, REFERENCE CONSTRUCTION DRAWINGS FOR NEW LOCATIONS OR COORDINATE WITH OWNER FOR STORAGE LOCATION.
7. PARTITIONS SCHEDULED TO BE REMOVED; DEMOLITION SHOULD INCLUDE MISCELLANEOUS BRACING, TRACK, ETC. TO BOTTOM OF STRUCTURE.
8. CONTRACTOR SHALL MAINTAIN ALL REQUIRED EXITS UNOBSTRUCTED, ILLUMINATED AND PROTECTED FROM CONSTRUCTION ACTIVITIES.
9. CONTRACTOR TO CLEAN AREAS ADJACENT TO DEMOLITION AREA OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITIONS OPERATIONS.
10. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. TRANSPORT DEMOLISHED MATERIALS AND LEGALLY DISPOSE OF THEM.



DEMOLITION PLAN
SCALE: 1/16" = 1'-0"

1
A101



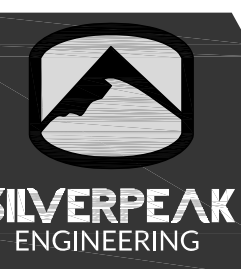
177 E. ANTELOPE DR. STE. B
LAYTON, UT 84041
PHONE: (801) 499-5054
FAX: (801) 499-5065



HAWTHORN ACADEMY TI
1437 W 11400 S
SOUTH JORDAN, UTAH

DATE: 03-23-2018
PROJECT: AH-015.03
DRAWN BY: C.D.

REVISIONS:



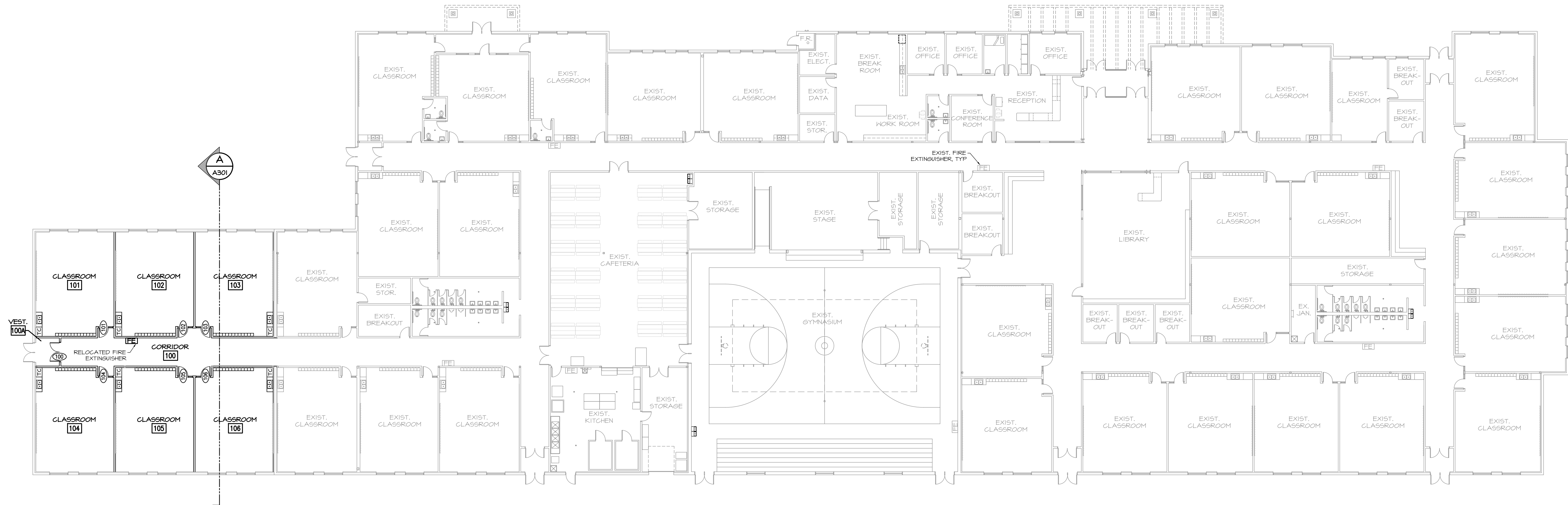
DEMOLITION PLAN

SHEET NUMBER:
A101

ANNOTATION LEGEND	
SYMBOL	DESCRIPTION
	ROOM NUMBER
	DOOR TAG (SEE DOOR SCHEDULE)
	ELEVATION CALLOUT
	SECTION CALLOUT
	FIRE EXTINGUISHER
	EXISTING FIRE EXTINGUISHER
	TEACHER'S CABINET (SEE CABINET ELEVATIONS)
	WHITE BOARD (PROVIDE BLOCKING PER MANUFACTURER'S INSTRUCTIONS)

NOTE: PROVIDE BLOCKING FOR FUTURE WHITE BOARDS. WHITE BOARD SYMBOL:

FIRE EXTINGUISHER NOTE:
 UPON COMPLETION OF THIS PROJECT, PROVIDE FIRE EXTINGUISHERS WITH A MIN. RATING OF 2A10BC. FIRE EXTINGUISHERS SHALL BE PLACED TO ENABLE A TRAVEL DISTANCE NOT MORE THAN 75' TO ACCESS FROM ANY POINT OF THE FACILITY.

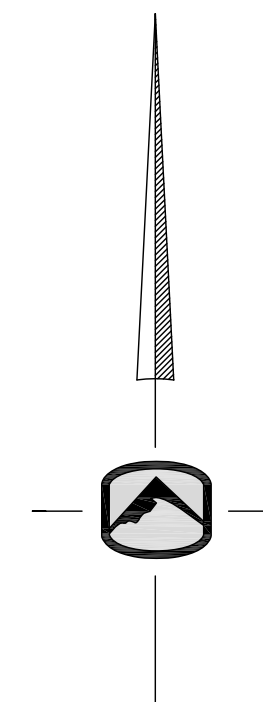


WALL TYPES LEGEND	
SEE WALL SECTIONS FOR FULL DETAIL	
WALL	DESCRIPTION
INTERIOR PARTITION WALLS	6" 20 GA MTL STUDS @ 16" O.C. WITH 5/8" GNB. BOTH SIDES.
EX. INTERIOR FINISH WALLS	EXIST. 3 5/8" 20 GA MTL STUDS @ 16" O.C. WITH 5/8" GNB. ON FINISH SIDE U.N.O.
EX. EXTERIOR WALLS	EXIST. 8" CMU WALLS
EX. EXTERIOR WALLS	EXIST. 12" CMU WALLS

CUBBIES & LOCKER NOTE:
 -ADA ACCESSIBLE CUBBIES AND COAT HOOKS SHALL BE LOCATED IN THE NEW CLASSROOMS (SEE SHEET A701)

CHILDREN'S REACH RANGES			
SEE 2010 ADA TABLE 308.1			
FORWARD OR SIDE REACH	AGES 3-4	AGES 5-8	AGES 9-12
HIGH (MAXIMUM)	36 INCHES	40 INCHES	44 INCHES
LOW (MINIMUM)	20 INCHES	18 INCHES	16 INCHES

MAIN FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 1
 A111



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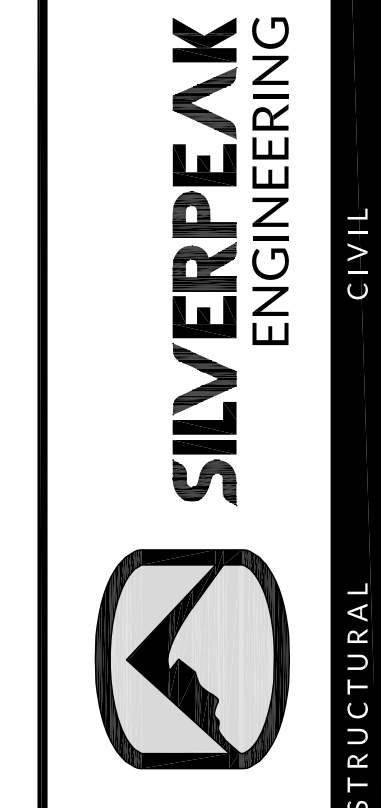
REVISIONS:



MAIN FLOOR PLAN
 SHEET NUMBER:
A111



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HAWTHORN ACADEMY TI
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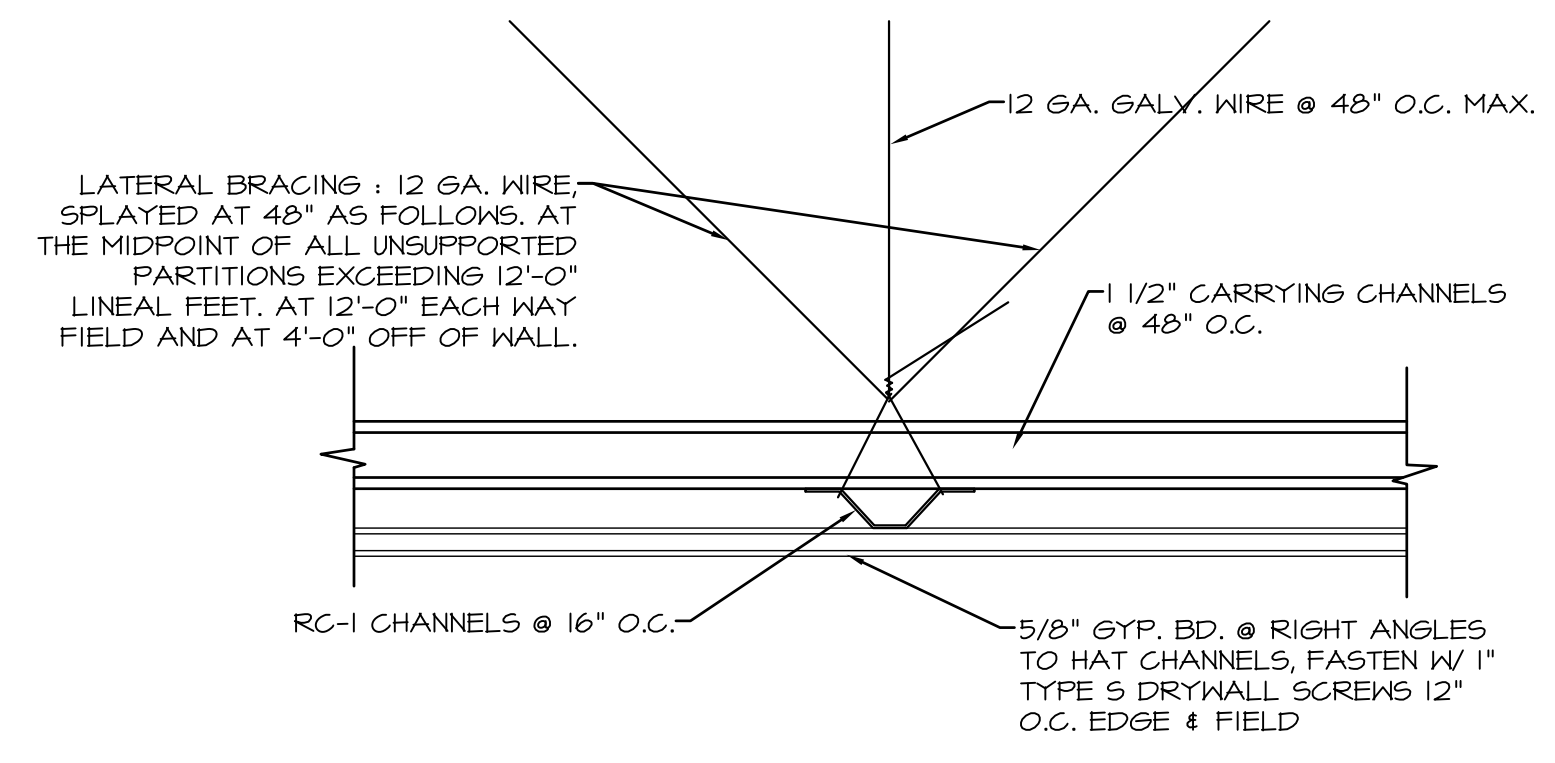
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REVISIONS:

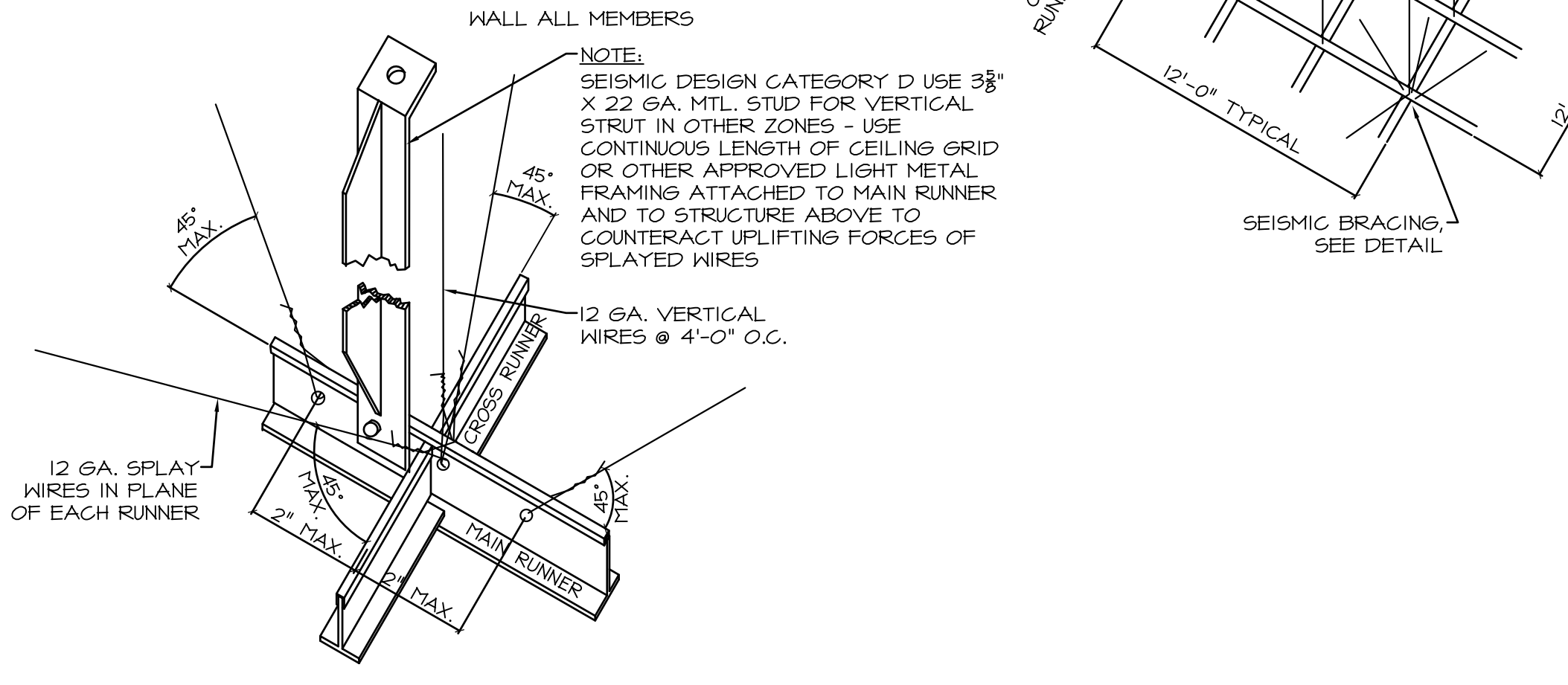
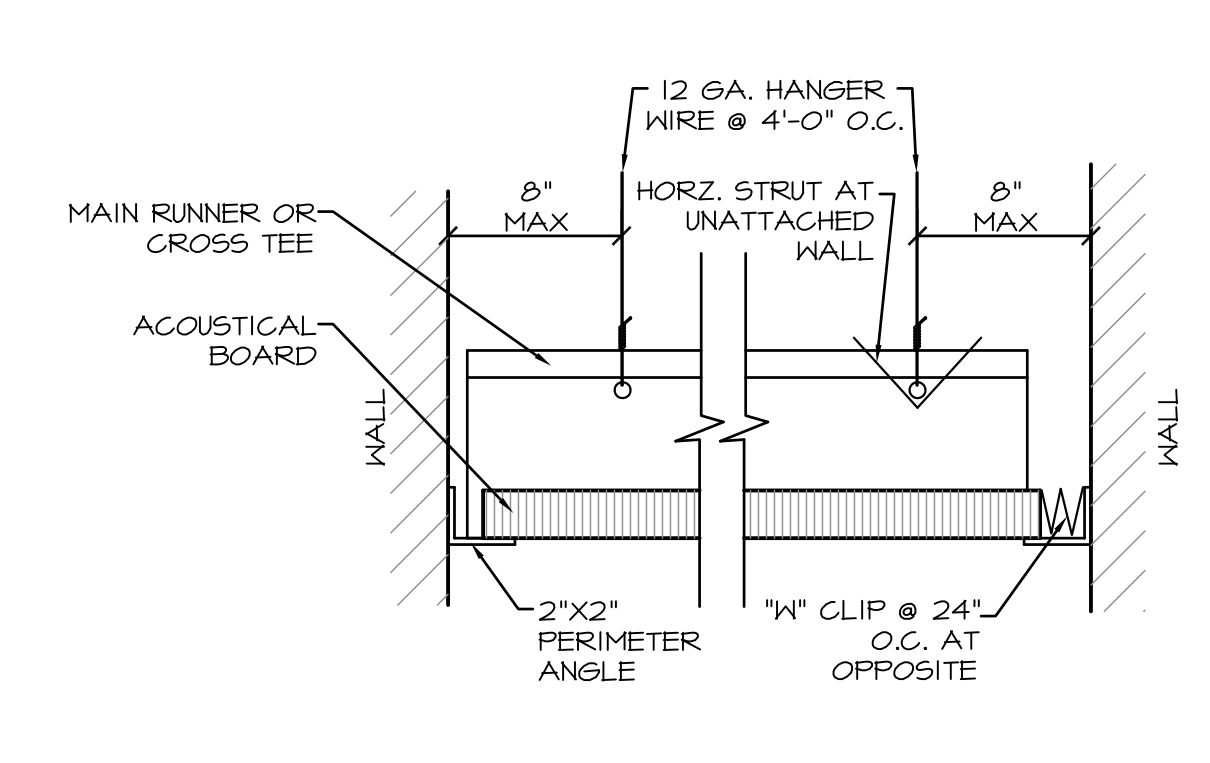


REFLECTED
CEILING PLAN

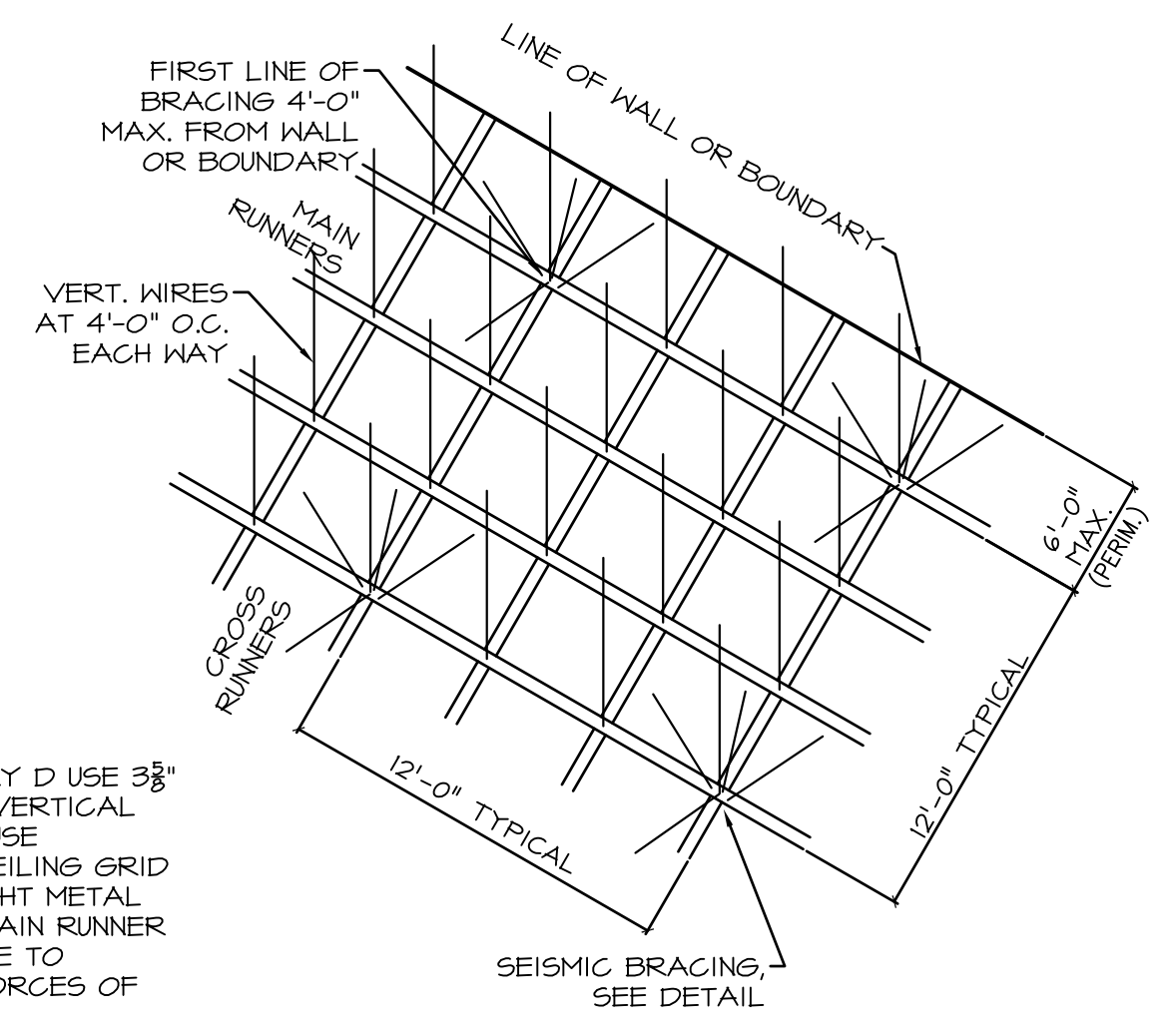
SHEET NUMBER:
A131



CEILING DETAIL
NOT TO SCALE



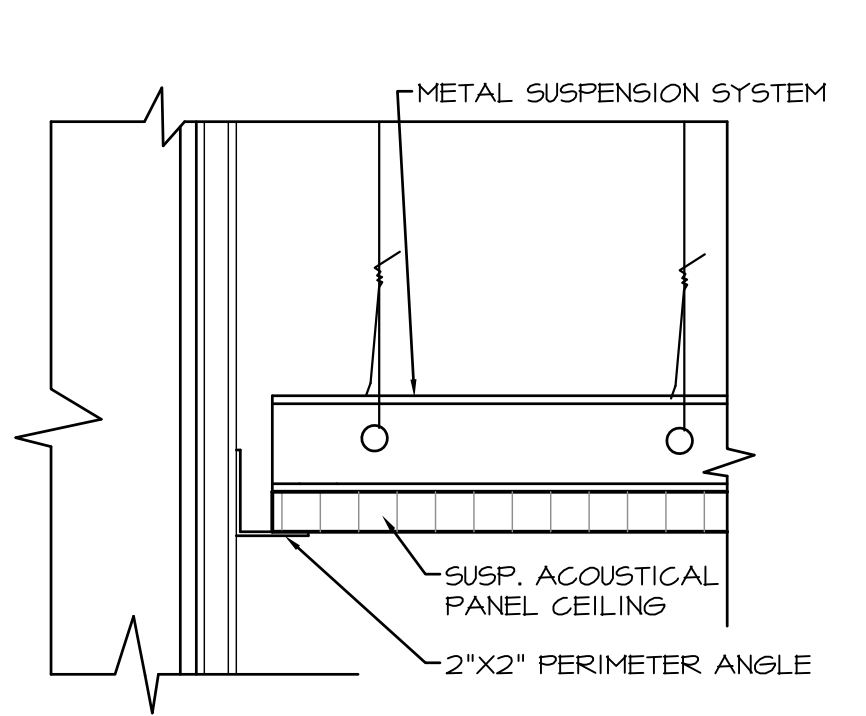
CEILING SUSPENSION SYSTEM & SEISMIC BRACING DETAIL (TYP.)
NOT TO SCALE



- IBC SEISMIC INSTALLATION REQUIREMENTS. INSTALLATION MUST CONFORM TO CISCA RECOMMENDATIONS AND ALSO MUST MEET THESE ADDITIONAL REQUIREMENTS:
- * MINIMUM 2" WALL MOLDING
 - * GRID MUST BE ATTACHED TO TWO ADJACENT WALLS - OPPOSITE WALLS MUST HAVE 3/4" CLEARANCE
 - * ENDS OF MAIN BEAMS AND CROSS TIES MUST BE TIED TOGETHER TO PREVENT THEIR SPREADING
 - * HEAVY-DUTY GRID SYSTEM
 - * CEILING AREAS OVER 1,000 SF MUST HAVE HORIZONTAL RESTRAINT WIRE OR RIGID BRACING
 - * CEILING AREAS OVER 2,500 SF MUST HAVE SEISMIC SEPARATION JOINTS OR FULL HEIGHT PARTITIONS
 - * CEILINGS WITHOUT RIGID BRACING MUST HAVE 2" OVERSIZED TRIM RINGS FOR SPRINKLERS AND OTHER PENETRATIONS
 - * CHANGES IN CEILING PLANE MUST HAVE POSITIVE BRACING
 - * CABLE TRAYS AND ELECTRICAL CONDUITS MUST BE INDEPENDENTLY SUPPORTED AND BRACED
 - * SUSPENDED CEILING WILL BE SUBJECT TO SPECIAL INSPECTION

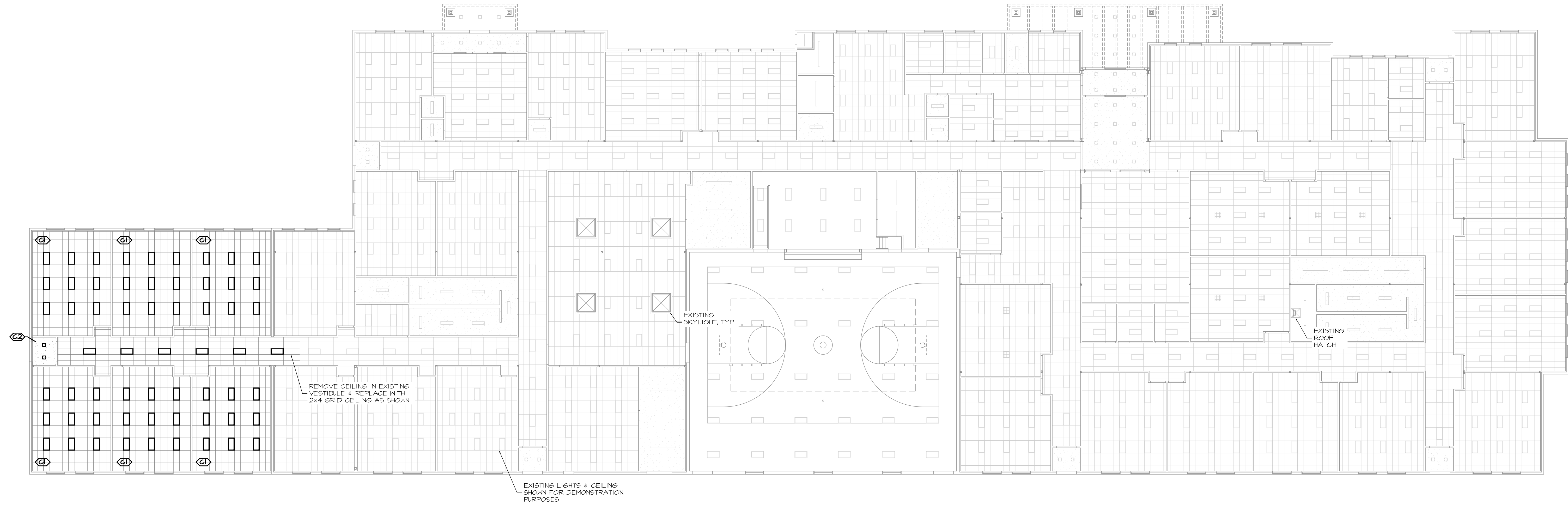
- SUSPENDED GRID CEILING NOTES:
1. PROVIDE HEAVY-DUTY TYPE SYSTEM
 2. 2"x2" PERIMETER ANGLE SHALL BE PROVIDED

CEILING TYPES	
MARK	DESCRIPTION
C1	2' x 4' ACOUSTICAL PANEL CEILING IN METAL SUSPENSION SYSTEM AT 9'-6" A.F.F. (OR MATCH EXISTING CEILING HEIGHT)
C2	5/8" GYPSUM BOARD ATTACHED TO METAL SUSPENSION SYSTEM AT 9'-0" A.F.F. (U.N.C.)



CEILING DETAIL
NOT TO SCALE

- NOTES:
1. ALL SPLAY WIRES TO BE IN LINE WITH ATTACHED COMPONENTS.
 2. ALL SPLAY WIRES TO BE TAUT AND TIED BOTH ENDS W/ MIN. OF 3 TURNS IN 1" OF RUN
 3. AREAS SMALLER THAN 144 SQ. FT. WITH WALLS ON 4 SIDES EXTENDING TO STRUCTURE NEED TO BE BRACED.
 4. COMPRESSIVE STRUTS REQUIRED @ 12'-0" O.C.
 5. ALL CEILING MOUNTED LIGHT FIXTURES SHALL BE ATTACHED TO THE SUSPENDED CEILING GRID. IN ADDITION 12 GA. HANGER WIRES SHALL BE ATTACHED TO THE GRID WITHIN 3" OF EACH CORNER OF THE LIGHT HOUSING AND TO THE STRUCTURE ABOVE (THESE WIRES MAY BE SLACK).
 6. WIRES SHALL NOT ATTACH TO OR BEND AROUND INTERFERING MATERIAL OR EQUIPMENT NOR SHALL THEY BE CLOSER THAN 6" FROM ANY UNBRACED HORIZONTAL PIPING OR DUCTWORK. A TRAPEZE OR SIMILAR DEVICE SHALL BE USED WHERE OBSTRUCTIONS OCCUR.

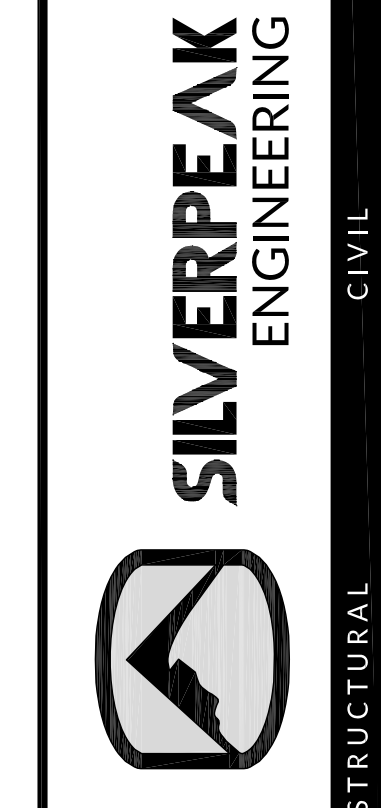


REFLECTED CEILING PLAN
SCALE: 1/16" = 1'-0"

NOTE: SEE ELECTRICAL DRAWINGS FOR EMERGENCY LIGHTING



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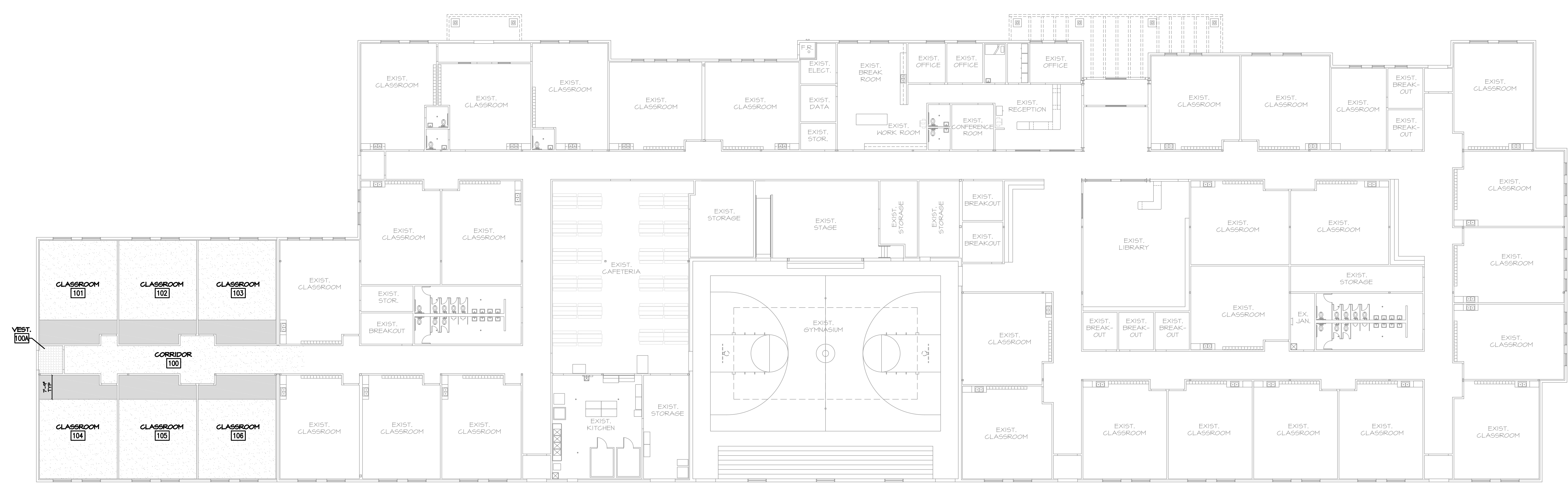
FLOOR FINISH PLAN
 SHEET NUMBER:
A141

NOTE: ALL THRESHOLDS TO BE A MAXIMUM OF 1/2" SEE DETAILS 1 & 2 ON SHEET A502

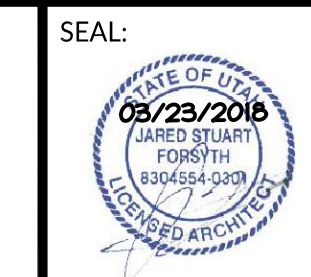
NOTE: EXISTING FLOOR FINISHES NOT SHOWN FOR CLARITY

FLOOR FINISH TABULATION		
HATCH	FLOOR FINISH	MAIN LEVEL (SQ.FT.)
	VCT	1053
	CARPET	4636
	WALK-OFF MAT	70

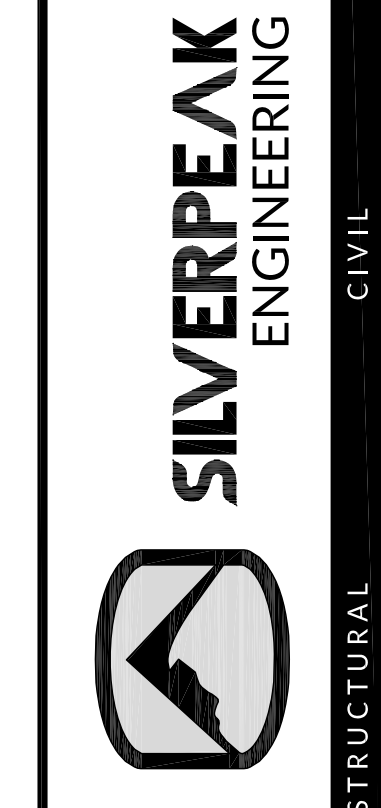
NOTE: NUMBERS ARE APPROXIMATE, SUPPLIER TO FIELD VERIFY
 NOTE: MATCH EXISTING FLOOR FINISHES PER OWNER



FLOOR FINISH PLAN
 SCALE: 1/16" = 1'-0" 1
A141



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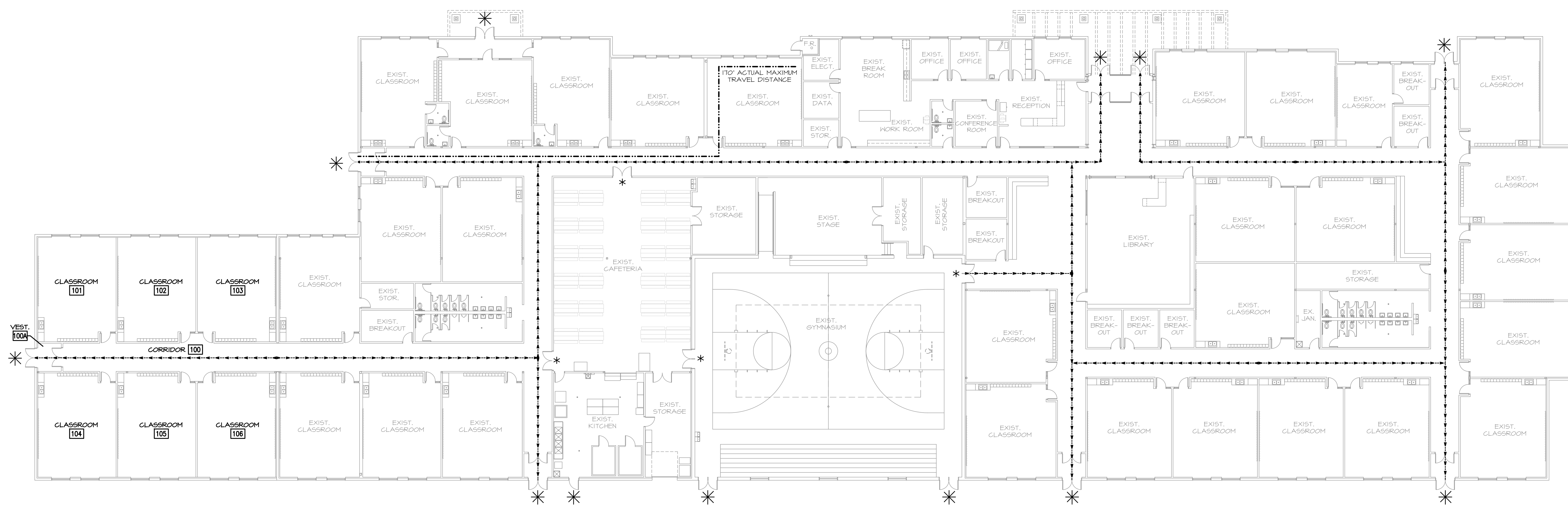
DATE: 03-23-2018
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 REVISIONS:



EXIT DIAGRAM
 SHEET NUMBER:
A151

LEGEND	
SYMBOL	DESCRIPTION
* (with asterisk in a circle)	EXTERIOR EXIT DOORWAY
*	INTERIOR EXIT DOORWAY
--- (dashed line)	EXIT PATH
--- (dash-dot line)	ACTUAL MAXIMUM TRAVEL DISTANCE

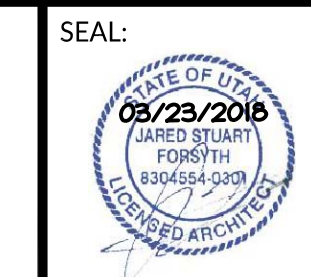
NOTE: THE MAX. ALLOWABLE TRAVEL DISTANCE FOR THIS BUILDING IS 250' PER IBC TABLE 1017.2



EXIT DIAGRAM
 SCALE: 1/16" = 1'-0"

1
 A151

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.



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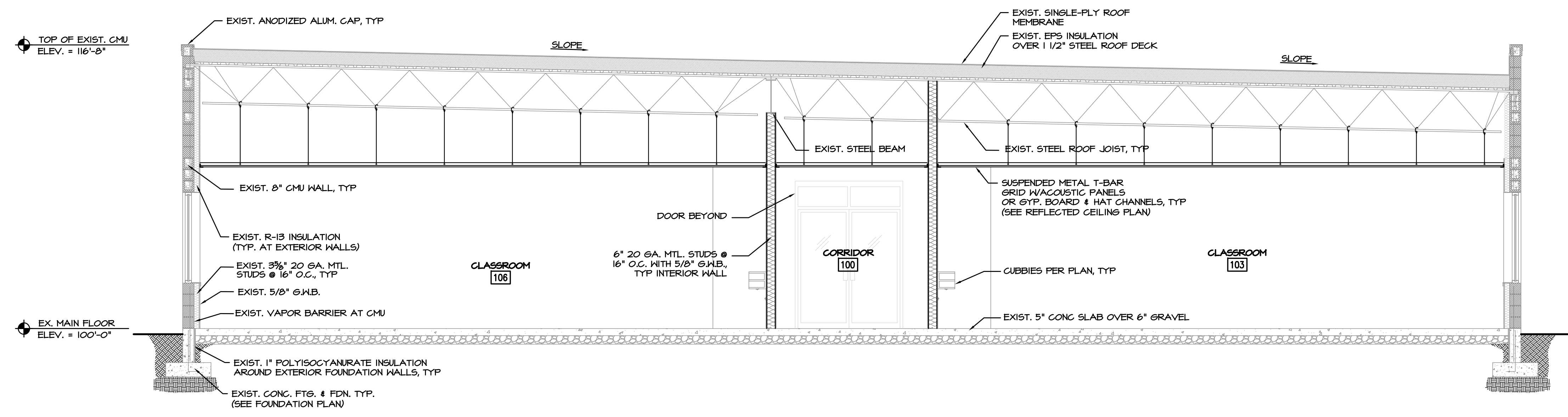
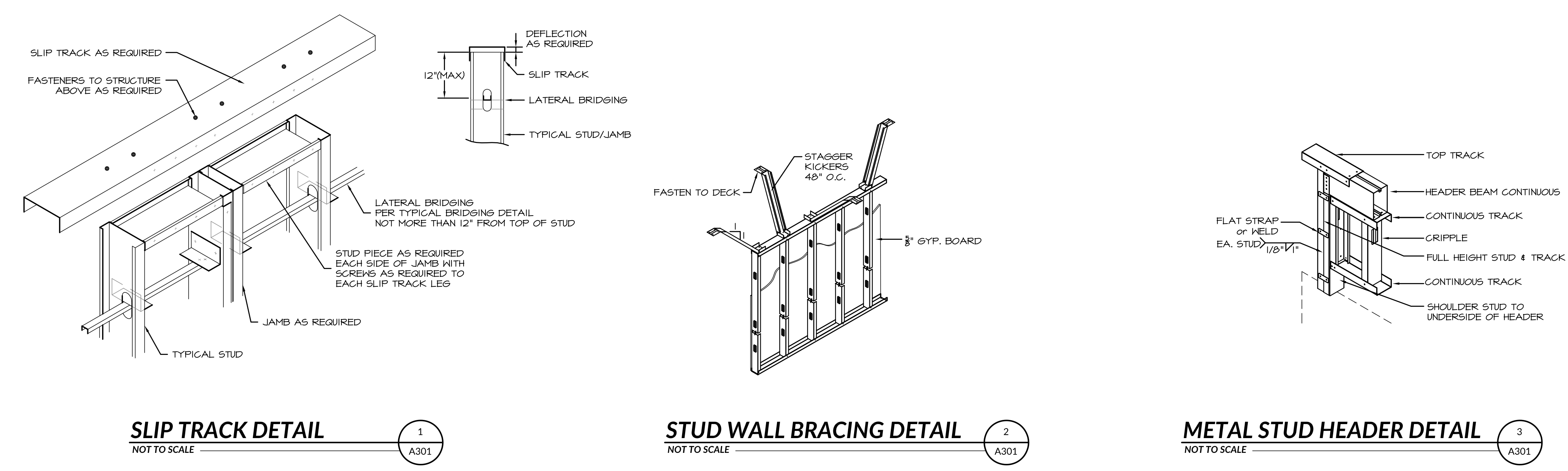
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DATE: 03-23-2018
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 DRAWN BY: C.D.
 REVISIONS:



BUILDING SECTION

SHEET NUMBER:
A301



BUILDING SECTION
 SCALE: 1/4" = 1'-0"

NOTE: CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AS NEEDED

NOTE:
 -INTERIOR DIMENSIONS ARE TO METAL STUD FRAMING, GYPSUM WALL BOARD NOT SHOWN FOR CLARITY PURPOSES.



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HAWTHORN ACADEMY TI
 1437 W 11400 S
 SOUTH JORDAN, UTAH

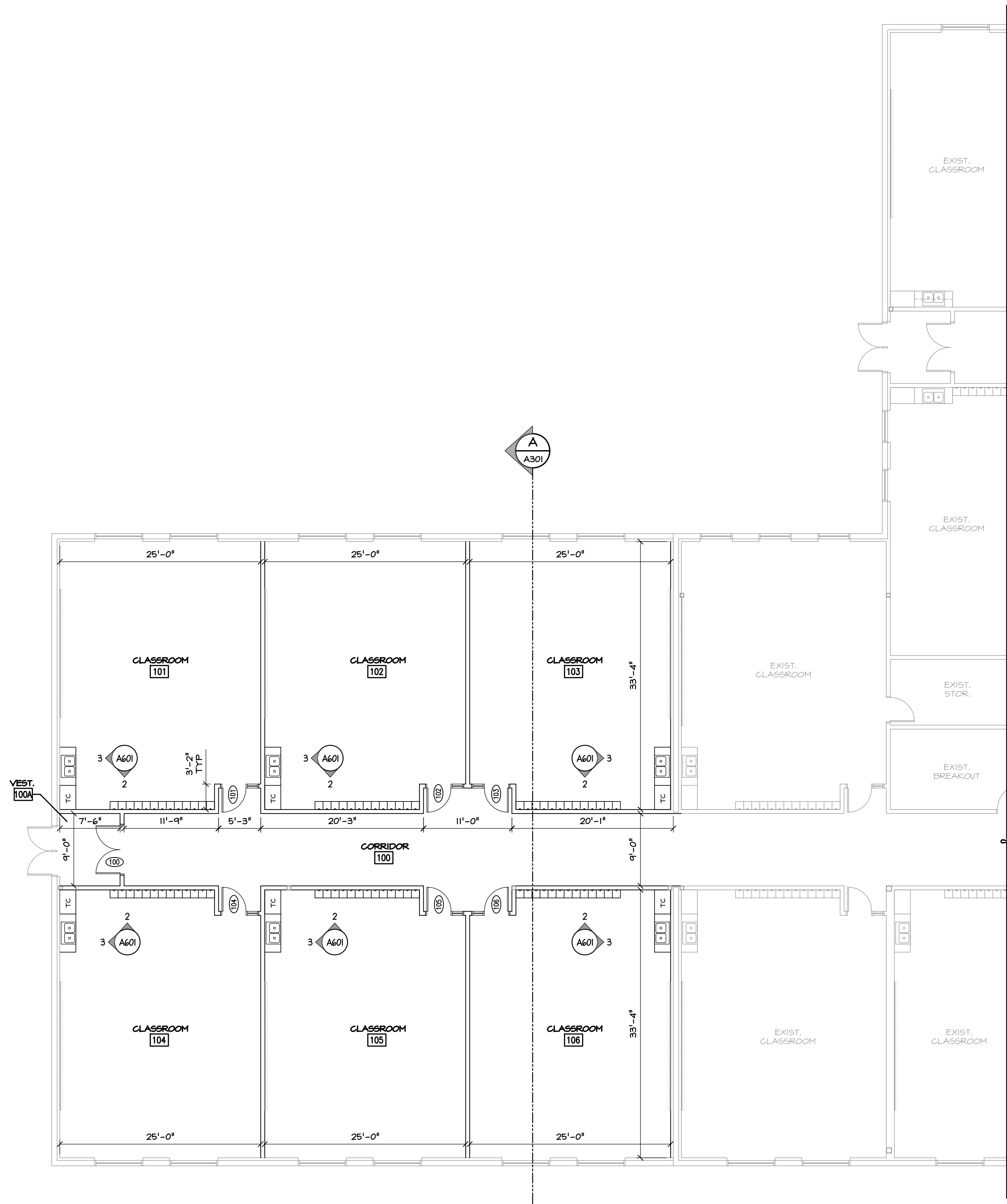
DATE: 03-23-2018
 PROJECT: HW-015.03
 DRAWN BY: C.D.

REVISIONS:



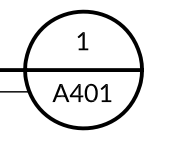
ENLARGED FLOOR PLAN

SHEET NUMBER:
A401



WALL TYPES LEGEND	
SEE WALL SECTIONS FOR FULL DETAIL	
WALL	DESCRIPTION
INTERIOR PARTITION WALLS	6" 20 GA MTL STUDS @ 16" O.C. WITH 5/8" GNB. BOTH SIDES.
EX. INTERIOR FUR OUT WALLS	EXIST. 3 5/8" 20 GA MTL STUDS @ 16" O.C. WITH 5/8" GNB. ON FINISH SIDE U.N.O.
EX. EXTERIOR WALLS	EXIST. 8" CMU WALLS
EX. EXTERIOR WALLS	EXIST. 12" CMU WALLS

ENLARGED FLOOR PLAN
 SCALE: 1/8" = 1'-0"



PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.